



HILLINGDON
LONDON



Central & South Planning Committee

To Councillors on the Committee

John Hensley (Chairman)
Judith Cooper (Vice-Chairman)
Janet Duncan (Labour Lead)
Paul Buttivant
Peter Curling
Dominic Gilham
Brian Stead

Date: TUESDAY, 25 JANUARY
2011

Time: 7.00 PM

Venue: COMMITTEE ROOM 5 -
CIVIC CENTRE, HIGH
STREET, UXBRIDGE UB8
1UW

**Meeting
Details:** Members of the Public and
Press are welcome to attend
this meeting

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reports can be made available
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INVESTOR IN PEOPLE

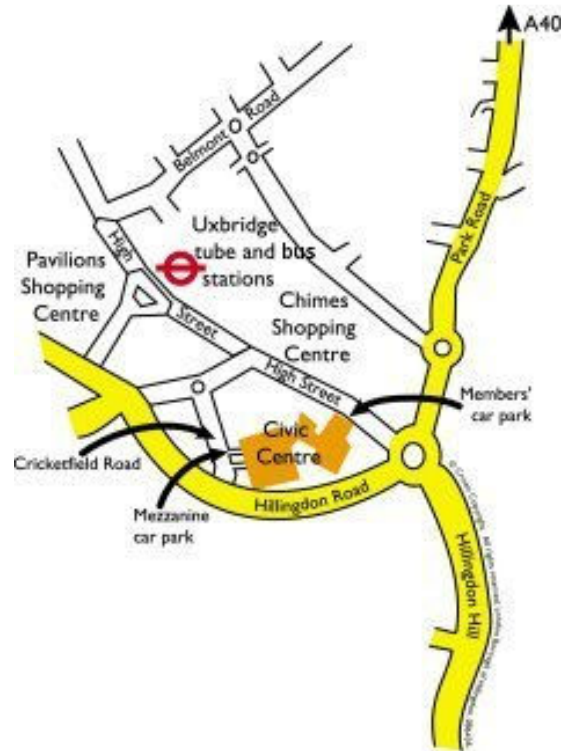
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A useful guide for those attending Planning Committee meetings

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Petitions and Councillors

Petitions - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

Ward Councillors - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

Committee Members - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant

followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

Agenda

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the meeting held on 6 January 2011
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part I will be considered in Public and that the items marked Part 2 will be considered in private

Reports - Part 1 - Members, Public and the Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. Reports are split into 'major' and 'minor' applications. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
6	Underground Operations Room, RAF Uxbridge, Hillingdon Road, Uxbridge - 585/APP/2010/2902	Uxbridge North;	Erection of a 2.4m high metal railing fence around historic bunker Recommendation: Delegated Powers subject to no objections being received before 3 February 2011	15 - 24
7	70 Station Road, West Drayton - 2954/APP/2010/1810	West Drayton;	Erection of a residential building to accommodate 35 flats (consisting of 12 one-bedroom units, 21 two-bedroom units and 2 three-bedroom units) with associated parking and landscaping Recommendation: Legal Agreement	25 - 62

Non Major Application with a Petition

	Address	Ward	Description & Recommendation	Page
8	43 - 47 and rear of 35 - 43 Yeading Lane, Hayes - 34799/APP/2009/2800	Barnhill;	2 three-bedroom two storey semi-detached dwellings and 3 three-bedroom two storey terraced dwellings with amenity and parking space, involving the demolition of outbuildings to rear of existing dwelling No.47 and rear extensions from No.43 and installation of new crossover Recommendation: Approval	63 - 88
9	51 Chiltern View Road, Uxbridge - 64176/APP/2010/2097	Uxbridge North;	Change of use from Class A4 (Drinking Establishment) to Class C3 (Residential Units) for use as 2 one-bedroom and 1 two-bedroom, two storey terraced dwellings with associated parking and amenity space, including a two storey rear extension, alterations to existing front and side elevations, repositioning of vehicular access to side and alterations to existing vehicular crossover to front with demolition of existing single storey rear extensions and outbuildings to rear Recommendation: Approval	89 - 112

Non Major Application without a Petition

	Address	Ward	Description & Recommendation	Page
10	Ground floor, Old Post Office, Station Road, Hayes - 35807/APP/2009/2363	Botwell;	Change of use from Class A1 (Retail) to Class D1 (Non-Residential Institutions) for use as a Health Centre, with associated internal alterations Recommendation: S106 Agreement	113 - 130

11	The Arena, Stockley Park, Stockley Road, West Drayton - 37800/APP/2010/1669	Botwell;	Change of use from Class B1 (Office) to Class D1 (Non-residential institutions) for use as further education college and management training premises Recommendation: Refusal	131 - 148
12	Brunel University, Kingston Lane, Hillingdon - 532/APP/2010/1964	Brunel;	Erection of a galvanised/ timber framed compound to house 2 external chillers Recommendation: Approval	149 - 156
13	20 Field Heath Road, Hillingdon - 21661/APP/2010/1716	Brunel;	Change of use from Class C3 (residential) to Class D1 for use as medical centre and single storey rear/side extension Recommendation: Approval	157 - 186
14	103 Park Road, Uxbridge - 32648/APP/2010/1408	Uxbridge North;	Change of use from Class A1 (Shops) to Class A5 (Hot food takeaway) and installation of extraction flue to rear Recommendation: Approval	187 - 202
15	Grass Verge rear of 109 and 111 Sweetcroft Lane, Hercies Road (close to Bus Stop), Hillingdon - 67517/APP/2010/2930	Uxbridge North;	Installation of 12.5m high imitation telegraph pole mobile phone mast and ancillary equipment cabinet (Consultation under Schedule 2, Part 24 of the Town and Country Planning (General Permitted Development) Order 1995) Recommendation: Refusal	203 - 210
16	1 Derby Road, Uxbridge - 60777/APP/2010/2713	Uxbridge South;	Alterations and extension to existing roof to create habitable roofspace to include 2 gable end windows and 4 side rooflights Recommendation: Refusal	211 - 218
17	Tesco Stores Ltd, Glencoe Road, Yeading - 36999/APP/2010/2512	Yeading;	Rear extension to bulk storage area Recommendation: Approval	219 - 244

PART II - MEMBERS ONLY

The reports listed below are not made public because they contain confidential or exempt information under paragraph 6 of Part 1 of Schedule 12 A to the Local Government (Access to Information) Act 1985 as amended.

18	Enforcement Report	Page 245 - 252
19	Enforcement Report	Page 253 - 260
20	Enforcement Report	Page 261 - 271
21	Enforcement Report	Page 273 - 283

Any Items transferred from Part 1

Any Other Business in Part 2

Plans for Central and South Planning Committee Page 285 - 375

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Minutes

CENTRAL & SOUTH PLANNING COMMITTEE

6 January 2011

Meeting held at Committee Room 5 - Civic Centre,
High Street, Uxbridge UB8 1UW



	<p>Committee Members Present: Councillors John Hensley (Chairman) Judith Cooper (Vice-Chairman) Paul Buttivant Peter Curling Janet Duncan Dominic Gilham Brian Stead</p> <p>LBH Officers Present: James Rodger, Matt Duigan, Manmohan Ranger, Sarah White and Gill Brice</p>	
147.	<p>APOLOGIES FOR ABSENCE (<i>Agenda Item 1</i>)</p> <p>Apologies had been received from Councillor Peter Curling there was no substitute.</p>	
148.	<p>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING (<i>Agenda Item 2</i>)</p> <p>There were no declarations of interests notified.</p>	
149.	<p>TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETING (TO FOLLOW) (<i>Agenda Item 3</i>)</p> <p>The minutes of the meetings held on 1 and 16 December 2010 were agreed as a correct record and signed by the Chairman.</p>	
150.	<p>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT (<i>Agenda Item 4</i>)</p> <p>There were no items notified as urgent.</p>	
151.	<p>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART I WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE (<i>Agenda Item 5</i>)</p> <p>It was confirmed that all items marked Part 1 would be heard in public and all items marked Part 2 would be heard in private.</p>	

152.	<p>CRANFORD PARK PRIMARY SCHOOL, PHELPS WAY, HAYES - 11211/APP/2010/2245 (<i>Agenda Item 6</i>)</p>	
	<p>Alterations and additions to existing school to create a single storey extension to existing hall, demolition of an existing temporary building (at south east end of the school) and replacement with a two storey extension accommodating 8 class rooms, play space, group rooms, new lift, stairs, toilets and storage and circulation space (total additional floor space 972sqm).</p> <p>11211/APP/2010/2245</p> <p>A member stated that on the plans the new block was sited close to the existing building, would there be any loss of light to the existing building as a result of this extension being built.</p> <p>Officers advised that the design had been changed to achieve light to the existing hall. Light levels had been checked and would meet the required standards.</p> <p>A member asked for an informative to be added to underpin the Green Travel Plan condition. This was a low PTAL area and as a result of the extension the catchment area would increase. It was suggested that the informative should include suggestions for the Travel Plan e.g. walking bus and a drop and go system. The addition of the informative was agreed by the committee.</p> <p>Concerns were raised in relation to the effectiveness of the Travel Plans and how it would be monitored.</p> <p>Officers advised that travel plans are monitored and information was provided by the school to ensure that they are meeting the required targets.</p> <p>The Legal Adviser advised that as members had specific concerns about the Green Travel plan and the requirements required to be put in place, an informative could be added to ensure that monitoring was highlighted.</p> <p>The committee agreed to the additional informative being added as suggested.</p> <p>A member suggested that condition 18 should be amended to ensure that no antennas were erected on any part of the school building without permission. It was suggested that condition 18 be amended by deleting 'atop' and inserting 'on'. This amendment was agreed by the committee.</p> <p>Members asked for a condition to be added to ensure that if any external lighting was to be considered this could be controlled to ensure that it did not affect surrounding properties. An additional condition was agreed by the committee.</p>	

Officers advised members that a correction needed to be made to add the word 'Bank' between the words 'on' and 'public' in the hours limiting condition on page 2 of the addendum sheet circulated at the meeting . The recommendation for approval with the amendments made by the committee was moved, seconded and on being put to the vote was agreed.

Resolved –

- 1. That the application be approved subject to the conditions and informatives set out in the officer's report and addendum circulated at the meeting and an additional informative as follows:**

Informative

You are advised that in discharging the travel plan condition the council will expect the following initiatives to be investigated and implemented if appropriate:

- Walking bus**
- Drop and go**

- 2. That subject to no further objections being received from local residents before 05/01/2011 which raise any new material planning issues not covered in the report, delegated powers be given to the Head of Planning and Enforcement to grant planning permission subject to the following conditions, and any additional conditions and/or informatives which may be required.**

Add the word 'Bank' between the words 'on' and 'public' in the hours limiting condition at page 2 of the of the addendum.

Amend condition 18 by replacing the word 'atop' with the word 'on'

Additional Condition

No floodlighting or other form of external lighting shall be installed unless it is in accordance with details which have previously been submitted to and approved in writing by the Local Planning Authority. Such details shall include location, height, type and direction of light sources and intensity of illumination. Any lighting that is so installed shall not thereafter be altered without the prior consent in writing of the Local Planning Authority other than for routine maintenance which does not change its details.

REASON

To safeguard the amenity of surrounding properties in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and in the interests of highway safety.

153.	FORMER NATIONAL AIR TRAFFIC SERVICES (NATS) HEADQUARTERS, PORTERS WAY, WEST DRAYTON - 5107/APP/2009/2348 (<i>Agenda Item 7</i>)	Action by
	<p>Proposed mixed-use redevelopment comprising: 773 dwellings comprising 12 no. studios, 152 no. 1-bedroom flats, 316 no. 2-bedroom flats, 21no. 2-bedroom houses, 23no. 3-bedroom flats, 181no. 3-bedroom houses, 59no. 4-bedroom houses and 9 no. 5-bedroom houses; Class D1 Primary Healthcare facility including room for joint community use (up to 1085sqm gea); Class C2 Nursing Home (up to 3630sqm gea); Classes A1-A3 Shop units to complement Mulberry Parade (up to 185sqm gea, depending on size of Primary Healthcare facility); Class B1 Business units including site management office (up to 185sqm gea); Energy Centre (up to 220sqm gea) with combined heat and power unit; foul water pumping station; associated access roads from Porters Way (and excluding all access including pedestrian and bicycle access from Rutters Close); 1085 car parking spaces; cycle parking; public open space areas; cycle ways and footpaths; and landscaping works.</p> <p>5107/APP/2009/2348</p> <p>In answer to an issue raised in regards to whether there was an in built year on year increase in relation to the financial contributions officers advised that all contributions in the S106 were index linked.</p> <p>A member raised concerns that there may be a long wait for the community facility to be provided. Was there anyway that could ensure it would be provided within a reasonable timescale.</p> <p>The committee were informed that if the committee was too prescriptive in the timescale for implementation of the community facility, if appealed an Inspector may not see this as a favourable step in the current financial climate.</p> <p>The Legal adviser informed the committee that the S106 set out that the phases had to be carried out consecutively, which would not allow other phases to be implemented before phase 3. It was felt that this should mitigate the concerns members had raised.</p> <p>A member raised concern about approving the application without a limited timescale for the community facility as it could mean that it may not be built.</p> <p>Officers advised the committee that the number of properties being built as part of Phase 1 and 2 was a consideration in the timescale for building the Community facility. Also recommendation A required that the Education financial contribution was paid on the implementation of Phase 1 & 2.</p> <p>It was asked how robust the S106 was as if the applicant had cash flow problem and had consideration been given to Director Guarantees.</p>	James Rodger Matt Duigan

The Legal adviser informed the committee that failure to comply with the terms of the agreement would be pursued through either a breach of the terms of the S106 agreement or as a debt. All s106 agreements are also registered against the title of the land on the local land charges register. In regard to the issue raised in relation to Director guarantees this was something that was not undertaken by Hillingdon. This was something that could be looked into by officers.

The recommendation in the report was moved, seconded and on being put to the vote was agreed.

Resolved

A. That schedule 1 of the S106 legal agreement (which relates to the education contribution) be varied to require:

1. To pay to the Council the Education Contribution of three million nine hundred and ninety eight thousand four hundred and twelve pounds (£3,998,412.00) as follows:-

1.1 one million pounds (£1,000,000.00) payable upon Implementation of Phase 1.

1.2 one million pounds (£1,000,000.00) on the date being six months after Implementation of Phase 2.

1.3 one million pounds (£1,000,000.00) payable on Implementation of Phase 3.

1.4 nine hundred and ninety eight thousand four hundred and twelve pounds (£998,412.00) payable on Implementation of Phase 4.

B. That schedule 15 of the S106 legal agreement (which relates to the on site community facility) be varied to require:

1. Prior to Implementation of Phase 2 of the Development to submit to the Council a draft specification for the Community Facility for the written approval of the Council;

2. Prior to Implementation of Phase 2 of the Development the Owner must obtain written approval from the Council that the final specification for the Community Facility is acceptable (such approval not to be unreasonably withheld or delayed);

3. Prior to Implementation of Phase 3 to complete the provision construction and laying out of the Community Facility and make the same ready for Occupation in accordance with the approved final specification and the Owner will invite the Council to inspect the completed Community Facility to determine whether the works have been completed to the reasonable satisfaction of the Council.

154.	BROOKSIDE PRIMARY SCHOOL, PERTH AVENUE, HAYES - 3739/APP/2010/2213 (<i>Agenda Item 8</i>)	Action by
	<p>Alterations and extensions to existing school building to create additional classrooms and staff room facilities and enhanced kitchen facilities, construction of new two storey school building (south west of existing school buildings) accommodating a nursery, classrooms and ancillary toilet areas, office, storage and circulation space and an all-weather rooftop play area, alterations to external play areas (including new external hard and soft playground areas), changes to boundary treatment, landscaping, access and parking arrangements, including new emergency vehicle access and relocated entrance to nursery (total additional floor space 940 sq.m.).</p> <p>3739/APP/2010/2213</p> <p>Officers advised the committee that the informative added in regards to the Green Travel Plan on Item 6 also needed to be added to this application. The addition of the informative was agreed by the committee.</p> <p>A member suggested that as there was no information given on the community use that condition 27 be amended to address the concerns about no information being provided. This condition should also be referred back to committee for a decision if the standardised hours used borough wide were exceeded. This was agreed by the committee.</p> <p>It was also suggested that an additional condition be added to restrict the use of the all weather roof top area to school hours only and that there be no amplified sound at any time. The committee agreed to the additional condition, the wording of this to be agreed with the Chairman and Labour Lead.</p> <p>Clarification of the number of parking spaces was sought, as there was conflicting information in the report.</p> <p>Officers advised that there were 22 parking spaces being provided, it was suggested that an informative be added to advise the applicant that 22 parking spaces was the correct number of parking spaces to be provided. This additional informative was agreed by the committee.</p> <p>Concerns were raised on the existing hazardous parking and traffic problems in the area. Officers were asked for reassurance that sufficient arrangements had been made in regard to the additional traffic in an already difficult area.</p> <p>Officers advised that there was a condition requiring a Green Travel Plan. The school would have to provide information on how they had met the requirements of the plan. In regard to an issue raised in relation to provision of a safer drop off area this was not something that could be provided due to the width of the highway.</p>	James Rodger Matt Duigan

The report made reference to a suggestion that a Warden be provided at drop off and pick up times. Can clarification be given of what a Warden was.

Officers advised that in other schools a member of staff acts as a warden for a drop and go area to enable pupils to get into school safely.

As previously raised in Item 6 members raised concerns relation to the effectiveness of the Travel Plans and how they were monitored. It was suggested and agreed that an informative be added to ensure that the implementation of the Green Travel Plan was monitored.

An amendment to condition 23 by adding 'not' after was agreed by the committee.

Members asked for a condition to be added in relation to external lighting to ensure that this would not impact on surrounding properties, as added to Item 6. The addition of this condition was agreed by the committee.

The recommendation with the amendments and additions was moved, seconded and on being put to the vote was agreed.

Resolved - That subject to no additional letters of objection being received before 07/01/2011, which raise any new planning issues, the application be determined by the Head of Planning and Enforcement under delegated powers, subject to the conditions and informatives set out in the officer's report and the addendum sheet circulated at the meeting. Conditions 7 & 23 were amended, condition 27 was amended and was to come back to committee if the hours of use exceeded the standardised hours of use, used across the borough and an additional 2 conditions and 3 informatives added as follows:

Amend condition 7 by inserting the word public between 'and' & 'Bank'

Amend condition 23 by inserting the word not between the words 'in' & 'use'

Condition 27 - Replace the wording of text (not the reason) as follows

The development hereby approved shall not be used other than in direct relationship with the use of the site as a primary school, and shall not be used by the wider community at any time including out of school hours, until such time as full details of the proposed community use of the development (including hours of use and the nature of activities) and a revised transport statement (which addresses the traffic and parking related impacts associated with the use of the development by the wider community) have been submitted to and approved in writing by the Local Planning Authority.

Add the following condition

No floodlighting or other form of external lighting shall be installed unless it is in accordance with details which have previously been submitted to and approved in writing by the Local Planning Authority. Such details shall include location, height, type and direction of light sources and intensity of illumination. Any lighting that is so installed shall not thereafter be altered without the prior consent in writing of the Local Planning Authority other than for routine maintenance which does not change its details.

REASON

To safeguard the amenity of surrounding properties in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and in the interests of highway safety.

Add the following condition

The upper level outdoor area of the new 2 storey building, hereby approved, shall only be used in association with the Primary School, during school hours, and shall not be made available for use by the wider community, nor shall any amplified music, sounds or audible recording be played out side of the building at the upper level at any time.

REASON

To safeguard the amenity of the occupants of surrounding properties in accordance with policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

Add the following Informatives

You are advised that in discharging the travel plan condition the council will expect the following initiatives to be investigated and implemented if appropriate:

- Walking Bus
- Drop & Go

You are advised that the Council requires 22 car parking spaces to be provided on the site, in accordance with plan AP (BR) 10 Rev F.

You are advised that the London Borough of Hillingdon monitors Travel Plans.

155.	LEGION HOUSE, 854-864 UXBRIDGE ROAD, HAYES - 927/APP/2010/1238 <i>(Agenda Item 9)</i>	Action by
	<p>Change of first floor use from Class B1 (office) to Class D1 (non-residential institution).</p> <p>1927/APP/2010/1238</p> <p>A member asked whether officers were satisfied that the means of escape could cope with the 200 people that the facility can accommodate.</p> <p>Officers advised that Building Control had been consulted and there concern was not with the numbers but the routes. Building Control would look at the escape route when the building regulation application was submitted. A fire certificate would also be required.</p> <p>A member asked whether the hours of operation were too restrictive.</p> <p>Officers advised that the hours of operation were what the applicant had applied for and if they found them restrictive they could apply to vary the condition. Members were advised that Informative 7 needed to be amended to include Bank Holidays.</p> <p>The recommendation was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved - That delegated powers be given to the Director of Planning and Community Services to grant planning permission, subject to the following:</p> <p>A. That the Council enter into a legal agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) to secure the following:</p> <ul style="list-style-type: none"> (i) The provision of 14 of the 37 parking spaces at the rear of the building to be provided for the proposed use at all times. (ii) The use of all 37 parking spaces at the rear of the building on Sundays between 0800 hours and 1400 hours and on Wednesday evenings from 19.00 hours to 21.00 hours to be provided for the proposed use. <p>B. That the applicant meets the Council's reasonable costs in the preparation of the Section 106 agreement and any abortive work as a result of the agreement not being completed.</p> <p>C. That the officers be authorised to negotiate the terms of the proposed agreement.</p> <p>D. That, if the S106 agreement is not completed within 6 months of the date of this resolution that, under the discretion of the Director of Planning and Community Services, the application is refused under delegated powers on the basis that the applicant has refused to address planning obligation requirements.</p>	James Rodger Matt Duigan

	<p>E. That if the application is approved, the conditions and informatives set out in the officer's report and addendum sheet circulated at the meeting be attached.</p> <p>Amend informative 7 as follows:-</p> <p>Insert the word 'Public' between 'and' and 'Bank'</p>	
156.	<p>THE ARENA, STOCKLEY PARK, WEST DRAYTON - 37800/APP/2010/1669 (<i>Agenda Item 10</i>)</p> <p>Change of use from Class B1 (Office) to Class D1 (Non-residential institutions) for use as further education college and management training premises.</p> <p>37800/APP/2010/1669</p> <p>This application was withdrawn from the agenda by the Head of Planning and Enforcement.</p>	<p>Action by</p> <p>James Rodger Matt Duigan</p>
157.	<p>ST DUNSTANS CHURCH HALL, CARFAX ROAD, HAYES - 64608/APP/2010/2229 (<i>Agenda Item 11</i>)</p> <p>Two storey building for use as church hall with associated parking and amenity space, involving demolition of existing building and alterations to existing vehicular crossover to front.</p> <p>64608/APP/2010/2229</p> <p>Officers in their introduction asked the committee to agree an additional condition in relation to the use of the bookshop that had been added for Item 9. The addition of the condition was agreed by the committee.</p> <p>The condition in relation to the gate on the addendum needed to be amended by deleting 'school' and inserting 'development'.</p> <p>A member asked whether this application was over intensification of the use within the Green Belt.</p> <p>Officers advised that the footprint of the proposed building was not a large increase so it was not felt that it would cause harm to the Green Belt.</p> <p>The recommendation with the additional condition was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer's report and the addendum circulated at the meeting and an additional condition as follows:-</p>	<p>Action by</p> <p>James Rodger Matt Duigan</p>

	<p>Add the following condition</p> <p>The floorspace hereby permitted to be used as a book shop shall be used only for purposes ancillary to the use of the premises as a church and shall not be expanded, nor shall the book shop be made open to members of the general public.</p> <p>REASON To ensure that the retail component remain ancillary to the main use of the premises as a church, and to prevent any unacceptable traffic or car parking impacts that may be generated by having a larger retail component as part of the scheme and to accord with policy AM7 and AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).</p> <p>Replace the wording of the gate condition at page 7 of the addendum as follows:</p> <p><i>The sliding gate at the entrance to the site shall be kept shut and locked at all times when the development is not in use.</i></p>	
158.	<p>301 LONG LANE, HILLINGDON - 568/APP/2010/1741 (Agenda Item 12)</p> <p>Change of use from Class A1 (Retail) to Class A2 (Financial and Professional Services) for use as Betting Shop.</p> <p>568/APP/2010/1741</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer’s report and the addendum circulated at the meeting.</p>	<p>Action by</p> <p>James Rodger Matt Duigan</p>
159.	<p>CROWNE PLAZA HOTEL, STOCKLEY ROAD, WEST DRAYTON - 359/APP/2010/2672 (Agenda Item 13)</p> <p>Replacement of 4 existing Vodafone antennas with 2 Vodafone antennas and 2 O2 antennas, together with relocation of an existing Vodafone pole, with 2 antennas, and replacement of the antennas with 1 Vodafone antenna and 1 O2 antenna.</p> <p>359/APP/2010/2672</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer’s report and addendum sheet circulated at the meeting.</p>	<p>Action by</p> <p>James Rodger Matt Duigan</p>

160.	<p>B & Q WAREHOUSE, GLENCOE ROAD, HAYES - 56099/APP/2010/1411 (<i>Agenda Item 14</i>)</p> <p>Creation of a temporary/seasonal display area for horticultural products to front (Retrospective application.)</p> <p>56099/APP/2010/1411</p> <p>It was asked that condition 4 be amended to include Public Holidays. This was agreed by the committee.</p> <p>Concerns were raised in relation to pedestrian safety as the path was to be moved on to the access road, which led to the parking area for the store. It was also suggested that a substantial barrier would be required if the application was approved.</p> <p>Officers suggested that an informative be added to ensure that a good quality barrier was provided.</p> <p>It was asked whether consideration had been given to the reduction of the width of the display being provided to ensure that the footpath could be retained.</p> <p>Officers advised that it would not be possible to retain the footpath due to the size of the pallets that were to be used to display the horticultural products.</p> <p>Members felt that it would be safer to provide a permanent display area and the provision of a permanent raised kerb and barrier to ensure pedestrian safety.</p> <p>Officers advised that discussion had already taken place with the applicant on the provision of a permanent display area. The applicant wanted to re-instate the parking that would be lost as part of this application from September to December.</p> <p>A member suggested that the application should be deferred to enable further negotiations with the applicant on the concerns raised in relation to pedestrian safety and to enable members to make a site visit.</p> <p>It was moved and seconded that the application be deferred. On being put to the vote was agreed.</p> <p>Resolved – That the application be deferred for further negotiations with the applicant on the concerns raised by members in relation to pedestrian safety and to enable the committee to undertake a site visit.</p>	<p>Action by</p> <p>James Rodger Matt Duigan</p>
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161.	<p>S106 QUARTERLY MONITORING REPORT (<i>Agenda Item 15</i>)</p> <p>S106 Quarterly Monitoring Report - Up to 30 September 2010</p> <p>Members received a report updating them on the current position in relation to S106 agreements.</p> <p>Resolved – That the report be noted.</p>	<p>Action by</p>
162.	<p>ENFORCEMENT REPORT (<i>Agenda Item 16</i>)</p> <p>Officers advised the committee that 1.3 in the report needed to be amended to reflect correctly the steps required. Members gave Delegated authority to the Head of Planning, Trading Standards and Environmental Protection to Amend section 1.3 (i), (ii), (iii) of the resolution to better reflect the detailed layout of the scheme.</p> <p>Resolved</p> <ol style="list-style-type: none"> 1. That enforcement action as recommended in the officer's report as amended was agreed. 2. That the decision and the reasons for it outlined in the report as amended be released into the public domain, solely for the purposes of issuing the formal enforcement notice to the individual concerned. 	<p>Action by</p> <p>James Rodger Matt Duigan</p>
<p>The meeting, which commenced at 7.00 pm, closed at 9.05 pm.</p>		

These are the minutes of the above meeting. For more information on any of the resolutions please contact Gill Brice on 01895 250693. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

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Report of the Head of Planning & Enforcement Services

Address UNDERGROUND OPERATIONS ROOM, RAF UXBRIDGE HILLINGDON ROAD UXBRIDGE

Development: Erection of a 2.4m high metal railing fence around historic bunker.

LBH Ref Nos: 585/APP/2010/2902

Drawing Nos: 11 GP Operations Room Enclave - Notes to Accompany Planning Application
Location Plan
Uxbridge - Bunker Enclave
TangoRail Fence Details (6 sheets)

Date Plans Received: 16/12/2010

Date(s) of Amendment(s):

Date Application Valid: 06/01/2011

1. SUMMARY

Planning permission is sought for the erection of a 2.4 metre high metal railing fence around the Grade I listed bunker at RAF Uxbridge. The fence is required to provide greater security to the listed structure when the wider site is vacated and handed over to VSM Estates Limited to take forward the sale of the land.

The design of the proposed fence is considered appropriate in relation to the visual amenity of the Green Belt and the impact on the listed structure. As the period for representations in response to the requisite press advertisement and site notice will not expire until 2 February 2011 it is recommended that delegated power be given to the Head of Planning, Trading Standards and Environmental Protection to determine the application, subject to no objections being received during this period and subject to appropriate conditions.

2. RECOMMENDATION

That the application be determined by the Head of Planning, Trading Standards and Environmental Protection under delegated powers, subject to no objections being received before 3 February 2011 and subject to the following conditions:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 NONSC Details of gates to be submitted

No development shall commence until details of the proposed pedestrian and vehicular gates, including their dimensions and detailed design, have been submitted to, and approved in writing by, the Local Planning Authority. The development shall thereafter only be carried out in accordance with the approved details.

REASON

To ensure that the design of the gates is appropriate to the setting of the listed bunker in accordance with Policy BE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 M1 Details of colour of proposed fence

No development shall take place until details of the external finish and colour of the proposed fence (with reference to the BS or RAL number) have been submitted to, and approved in writing by, the Local Planning Authority and the development shall thereafter only be carried out in accordance with the approved details.

REASON

To ensure that the external appearance of the proposed fence is appropriate to its Green Belt location and to the setting of the listed bunker in accordance with Policies OL1 and BE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 NONSC Fence not to be attached to listed wall

No part of the fence hereby approved shall be attached to the adjacent listed wall.

REASON

To ensure that no damage is caused to the adjacent listed wall in accordance with Policy BE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The design of the proposed fence is considered appropriate in relation to the visual amenity of the Green Belt and the impact on the listed structure. The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

- | | |
|------|--|
| OL1 | Green Belt - acceptable open land uses and restrictions on new development |
| OL2 | Green Belt -landscaping improvements |
| BE13 | New development must harmonise with the existing street scene. |

3 I45 Discharge of Conditions

Your attention is drawn to conditions 2 and 3 which must be discharged prior to the commencement of works. You will be in breach of planning control should you

commence these works prior to the discharge of these conditions. The Council may consider taking enforcement action to rectify the breach of these conditions. For further information and advice contact - Planning, Environment & Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel: 01895 250230).

3. CONSIDERATIONS

3.1 Site and Locality

The site has an area of approximately 1.49 ha and comprises an open area around the underground bunker and ancillary buildings at RAF Uxbridge. The bunker comprises the former underground operations room and was the secret location from where 11 Group's involvement in the Battle of Britain was controlled. It is Grade I listed. The area around the bunker comprises service roads, close-mown grass, areas of long grassland and woodland on the southern slopes.

As part of the redevelopment of the MOD estate in London, RAF Uxbridge has now closed. By March 2011 the site will be vacated and handed over to VSM Estates Limited to take forward the sale of the site. The 11 (Fighter) Group Operations Room enclave is to be retained by MOD.

3.2 Proposed Scheme

Planning permission is sought for the erection of a 2.4 metre high security fence around the bunker and adjacent land. The new fence would be provided on the northern and western side of the bunker with the existing security fence to the south and garden wall to the rear of properties in Patch Close and Vincent Drive remaining. The fence would be a park-style railing with tubular steel rails braced with horizontal bars at the top and bottom, painted black and incorporate two sets of vehicular gates and a pedestrian gate. The applicant has advised that it is required to protect the site which is of considerable historical value and designed to occupy as small a footprint as possible in order to maximise access to the wider site and in particular the banks of the River Pinn.

3.3 Relevant Planning History

585/APP/2009/2752 Raf Uxbridge Hillingdon Road Uxbridge

1. Outline application (all matters reserved, except for access): Demolition of some existing buildings; A) Creation of up to 1,296 residential dwellings (Class C3) of between 2 to 6 residential storeys; B) Creation of up to 77 one-bedroom assisted living retirement accommodation of between 3 to 4 storeys; C) Creation of a three-form entry primary school of 2 storeys; D) Creation of a hotel (Class C1) of 5 storeys of up to 90 beds; E) Creation of a 1,200 seat theatre with ancillary café (Sui Generis); office (Class B1a) of up to 13,860sq.m; energy centre (Sui Generis) of up to 1,200sq.m; and retail (Class A1, A2, A3, A4, A5) of up to 2,850sq m; in buildings of between 4 to 6 storeys as well as a tower element associated with the theatre of up to 30m; F) Creation of a local centre to provide up to 150sq.m of retail (Class A1 and A2) and 225sq.m GP surgery (Class D1); Means of access and improvements to pedestrian linkages to the Uxbridge Town centre; car parking; provision of public open space including a district park; landscaping; sustainable infrastructure and servicing.
2. In addition to the above, full planning permission is sought for: A) Change of use of the Grade II listed former cinema building to provide 600sq.m Class D1/2 use (no building works proposed); B) Change of use and alterations to the Grade II listed Hillingdon House to provide 600sq.m for a restaurant (Class A3) on the ground floor and 1,500sq.m of office (Class B1) on the ground, first and second floors; C) Change of use and alterations to the Carpenters building

to provide 1 residential dwelling (Class C3); Creation of 29 residential dwellings (Class C3) to the north of Hillingdon House of between 2 to 3 storeys as well as associated amenity space and car parking; Change of use of Lawrence House (Building No. 109) to provide 4 dwellings (Class C3), associated amenity space and car parking including a separate freestanding garage; D) Change of use and alterations to the Sick Quarters (Building No. 91) to provide 4 dwellings (Class C3) as well as associated amenity space and car parking; E) Change of use of Mons barrack block (Building No. 146A) to provide 7 dwellings (Class C3) as well as associated amenity space and car parking.

Decision:

Comment on Relevant Planning History

The above part outline, part full application for the redevelopment of the site (Ref. 585/APP/2009/2752) was deferred at the meeting of the Central & South Planning Committee on 1 December 2010 to enable officers to provide full information on the application and updated plans to be provided to the Committee.

4. Planning Policies and Standards

Planning Policy Statement 1 (Delivering Sustainable Development) (January 2005)
Planning Policy Guidance Note 2 (Green Belts) (January 1995)
Planning Policy Statement 5 (Planning for the Historic Environment) (March 2010)
The London Plan (February 2008)
Hillingdon Unitary Development Plan Saved Policies (September 2007)

The relevant policies of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) are referenced in the relevant section below.

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- | | |
|--------|---|
| PT1.1 | To maintain the Green Belt for uses which preserve or enhance the open nature of the area. |
| PT1.9 | To seek to preserve statutory Listed Buildings and buildings on the Local List. |
| PT1.10 | To seek to ensure that development does not adversely affect the amenity and the character of the area. |

Part 2 Policies:

- | | |
|------|--|
| OL1 | Green Belt - acceptable open land uses and restrictions on new development |
| OL2 | Green Belt -landscaping improvements |
| BE13 | New development must harmonise with the existing street scene. |

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **27th January 2011**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

The application was advertised as major development and as development affecting the setting of a listed building. In addition, 18 neighbouring occupiers together with North Uxbridge Residents Association, Uxbridge Local History and Archive Society and Ickenham Residents Association were notified of the application. No replies have been received at the time of writing.

ENVIRONMENT AGENCY

Advises that it has no comments to make on the application.

Internal Consultees

TREES AND LANDSCAPE OFFICER

BACKGROUND:

The site is the land around the underground bunker and ancillary buildings at RAF Uxbridge, comprised of service roads, close-mown grass, areas of long grassland and woodland on the southern slopes.

There are no significant landscape features on the site which constitute a constraint on development.

There are no Tree Preservation Orders on, or close to, the site, nor does it fall within a designated Conservation Area.

PROPOSAL:

The proposal is to erect a 2.4 metre high security fence around the bunker and the adjacent land. The product is a park-style railing with tubular steel rails braced with horizontal bars at the top and bottom, by 'Tango Rail'.

LANDSCAPE CONSIDERATIONS:

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

* This product has the advantage that the panels can be 'cranked' between the heavy duty support posts to accommodate sloping land, without the need to 'step' the panels down the hill.

* The product selected has been the subject of pre-application advice, as a result of which the height of the fence has been reduced and the appearance significantly improved compared with the MoD's initial requirement for a more industrial looking fence.

* Pre-application advice included a recommendation that the fence be powder-coated in black or 'invisible green' in order to ensure that the structure sits discreetly within the landscape and is as visually permeable as possible - while providing the level of security appropriate to the site. There does not appear to be any reference to the colour, or finish, in the specification.

RECOMMENDATIONS:

No objection subject to confirmation of the finished colour (with reference to the BS, or RAL, number).

PRINCIPAL CONSERVATION AND URBAN DESIGN OFFICER

This proposal has been subject to pre-application discussions and the submission addresses the issues raised during this process. It is important that the fence is not attached to the listed wall and a condition should be imposed requiring details of the dimensions and final design of the various gates. Subject to the above, there is no objection to the proposal.

HIGHWAYS ENGINEER

No objection.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The site is located within the Green Belt. Policy OL1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) states that within the Green Belt, as defined on the Proposals Map, the following open land uses will be acceptable:

- (i) Agriculture, horticulture, forestry and nature conservation;
- (ii) Open air recreational facilities;
- (iii) Cemeteries

The proposed fence is required to provide security around the historic bunker. No new buildings are proposed and the land would remain open. As such, the proposal is considered to be in compliance with the above Policy and as such no objection is raised to the principle of the development.

7.02 Density of the proposed development

Not relevant to the application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The Principal Conservation and Urban Design Officer has raised no objection the impact of the proposed fence on the existing Grade I listed bunker subject to a condition requiring details of the various gates in respect of dimensions and final design. This can be secured by an appropriate planning condition.

7.04 Airport safeguarding

Not relevant to the application.

7.05 Impact on the green belt

The proposed fence would comprise a park-style railing with the panels 'cranked' between heavy duty support posts to accommodate the slope of the land to avoid the need to 'step' the panels down the hill. As such, it is considered that its impact on the visual amenity of the Green Belt would be minimised. Subject to a condition requiring details of the external finish and colour of the fence to be submitted to, and approved in writing by, the Local Planning Authority, no objection is raised to its visual impact on the Green Belt.

7.07 Impact on the character & appearance of the area

Considered in Section 7.05 above.

7.08 Impact on neighbours

The nearest residential properties are in Patch Close and Vincent Drive to the east of the site. The existing garden wall is to be retained on this boundary and the proposed fence would be sufficiently distant away to avoid any loss of visual amenity to the occupiers of these properties.

7.09 Living conditions for future occupiers

Not relevant to the application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Not relevant to the application as public access to the site would be prohibited.

7.11 Urban design, access and security

The design of the proposed fence is considered appropriate having regard to its location in the Green Belt.

Vehicular and pedestrian access to the bunker enclave is to be maintained by the provision of pedestrian and vehicular gates within the fence.

The security of the bunker enclave would be significantly improved by the erection of the proposed fence.

7.12 Disabled access

Not relevant to the application as public access to the site would be prohibited.

7.13 Provision of affordable & special needs housing

Not relevant to the application.

7.14 Trees, landscaping and Ecology

Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

The proposed fence would have no significant impact on existing landscaping features on the site and the Trees and Landscape Officer considers its design to be appropriate having regard to the location of the site within the Green Belt, subject to details of the external finish and colour of the fence being submitted to, and approved in writing by, the Local Planning Authority. This can be secured by an appropriate planning condition. It is not considered that additional planting would be appropriate in this instance. As such, it is considered that the scheme would be in accordance with the above Policy.

7.15 Sustainable waste management

Not relevant to the application.

7.16 Renewable energy / Sustainability

Not relevant to the application.

7.17 Flooding or Drainage Issues

The applicant has confirmed that no changes are proposed to the drainage system as part of the scheme. The Environment Agency has advised that it has no comments on the application in view of this and the scheme therefore has no flooding or drainage implications.

7.18 Noise or Air Quality Issues

Not relevant to the application.

7.19 Comments on Public Consultations

No replies have been received.

7.20 Planning obligations

Not relevant to the application.

7.21 Expediency of enforcement action

Not applicable.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

10. CONCLUSION

The design of the proposed fence is considered appropriate in relation to the visual amenity of the Green Belt and the impact on the listed structure. As the period for representations in response to the requisite press advertisement and site notice will not expire until 2 February 2011 it is recommended that delegated power be given to the Head of Planning, Trading Standards and Environmental Protection to determine the application, subject to no objections being received during this period and subject to appropriate conditions.

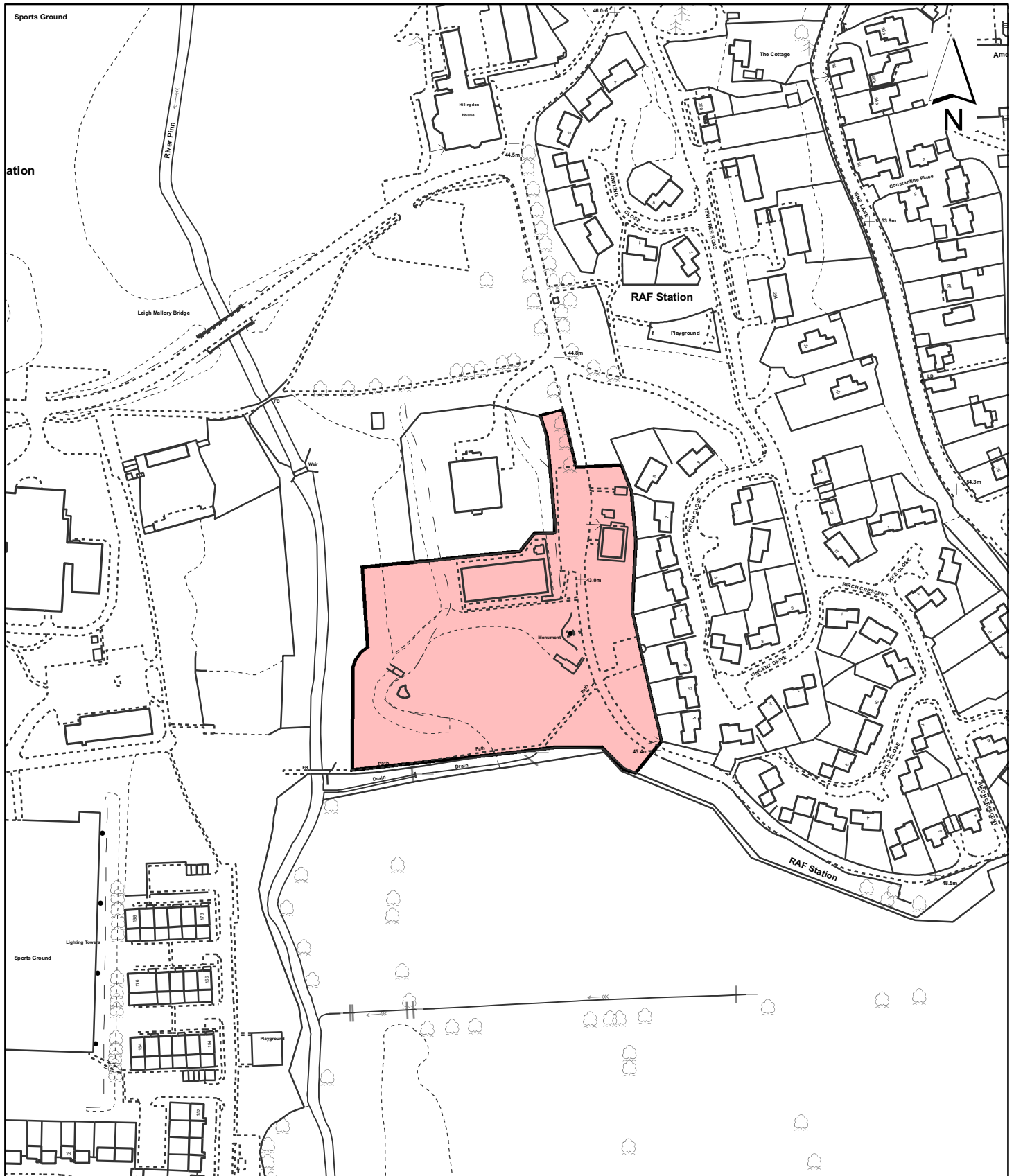
11. Reference Documents



Planning Policy Statement 1 (Delivering Sustainable Development) (January 2005)
Planning Policy Guidance Note 2 (Green Belts) (January 1995)

Planning Policy Statement 5 (Planning for the Historic Environment) (March 2010)
The London Plan (February 2008)
Hillingdon Unitary Development Plan Saved Policies (September 2007)

Contact Officer: Mark Smith

Telephone No: 01895 250230



<p>Notes</p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown Copyright. All rights reserved. London Borough of Hillingdon 100019283 2011</p>	<p>Site Address</p> <p align="center">Underground Operations Room RAF Uxbridge, Hillingdon Road Uxbridge</p>		<p align="center">LONDON BOROUGH OF HILLINGDON</p> <p align="center">Planning, Environment & Community Services</p> <p align="center">Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p align="center">585/APP/2010/2902</p>	<p>Scale</p> <p align="center">1:2,500</p>	 <p align="center">HILLINGDON LONDON</p>
	<p>Planning Committee</p> <p align="center">Central and South</p>	<p>Date</p> <p align="center">January 2011</p>	

Report of the Head of Planning & Enforcement Services

Address 70 STATION ROAD WEST DRAYTON

Development: Erection of a residential building to accommodate 35 flats (consisting of 12 one-bedroom units, 21 two-bedroom units and 2 three-bedroom units) with associated parking and landscaping.

LBH Ref Nos: 2954/APP/2010/1810

Drawing Nos: Design and Access Statement
Air Quality Assessment
Arboricultural Report
Energy Statement
Envirocheck Report
Environmental Noise Survey
Environmental Site Assessment
Ground Investigation Report
Transport Statement
Tree Schedule
Perspective
PO1 REV J
PO5 REV A
PO2 REV L
PO4 REV F
PO3 REV G

Date Plans Received:	04/08/2010	Date(s) of Amendment(s):	12/01/2010
Date Application Valid:	08/10/2010		04/08/2010
			07/10/2010
			06/12/2010
			16/12/2010

1. SUMMARY

Full planning permission is sought for the redevelopment of the site for a residential development comprising of 35 residential units associated amenity space and parking.

The proposed development is acceptable in principle and the density of development accords with the recommendations of the London Plan.

The site has an extensive planning history, including a recent appeal decision.

Having regard to the Inspector's decision on the previous application it is considered that the proposal would attain an acceptable appearance within the street scene, would not have a detrimental impact on neighbouring occupiers and would provide an appropriate residential environment for future occupiers.

The proposal is considered acceptable in terms of parking provision and highways impacts.

Subject to conditions an appropriate level of sustainable design could be achieved.

The proposal would provide 3 x one-bedroom and 3 x two-bedroom units as affordable housing. This level of provision has been fully justified by way of a Financial Viability Assessment as the maximum level which the development can viably provide. The applicant has also agreed to meet all other necessary planning obligations by way of a legal agreement.

Subject to a S106 agreement and conditions, the application is recommended for approval.

2. RECOMMENDATION

a) That the Council enters into an agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or Section 278 of the Highways Act 1980 (as amended) and/ or other appropriate legislation to secure:

i) The provision of 3 x one bedroom and 3 x two bedroom units as affordable housing.

ii) The provision of a contribution of £102,323 toward educational facilities.

ii) The provision of a contribution of £13,682.71 toward healthcare facilities.

iii) The provision of a contribution of £30,000 toward community facilities.

iv) The provision of a contribution of £20,000 toward Town Centre Improvements.

v) The provision of a contribution of £1,452.45 toward Local Library Facilities.

vi) The provision of construction training either as a formula based financial contribution or in-kind.

vi) A cash contribution equal to 5% of the total cash contribution to enable the management and monitoring of the requirements of the legal agreement.

b) That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in preparation of the Section 106 Agreement and any abortive work as a result of the agreement not being completed.

c) That officers be authorised to negotiate and agree the detailed terms of the proposed agreement.

d) That if within 6 months, the S106 Agreement has not been finalised, delegated powers be given to the Director of Planning and Community Services to refuse planning permission for the following reasons:

1. The development is not considered to have made adequate provision, through planning obligations, for contributions towards educational facilities, healthcare facilities, community facilities, town centre improvements, library facilities and monitoring. Given that a legal agreement or unilateral undertaking has not been secured to address this issue, the proposal is considered to be contrary to Policy R17 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Council's Supplementary Planning Document for Planning Obligations (Adopted July 2008).

e) That subject to the above, the application be deferred for determination by the Director of Planning and Community Services under delegated powers, subject to the completion of legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers to the applicant.

f) That if the application is approved, the following conditions be attached:-

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 MCD10 Refuse Facilities

No development shall take place until details of facilities to be provided for the covered, appropriately sign posted, secure and screened storage of refuse at the premises have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.

REASON

In order to safeguard the amenities of the area, in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policy 4B.1.

4 OM2 Levels

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 M1 Details/Samples to be Submitted

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

6 M5 Means of Enclosure - Bespoke

Before the development is commenced, details of boundary fencing or other means of enclosure shall be submitted to and approved in writing by the Local Planning Authority. The details shall not include the provision of close boarded fencing adjacent to the road frontages facing Station Road or Drayton Gardens. The approved means of enclosure shall be erected before the development is occupied and shall be permanently retained thereafter.

REASON

To safeguard privacy to adjoining properties in accordance with Policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

7 H1 Traffic Arrangements - submission of details

Development shall not begin until details of all traffic arrangements (including where appropriate carriageways, footways, turning space, safety strips, sight lines at road junctions, kerb radii, car parking areas and marking out of spaces, loading facilities, closure of existing access and means of surfacing) have been submitted to and approved in writing by the Local Planning Authority. The approved development shall not be occupied until all such works have been constructed in accordance with the approved details. Thereafter, the parking areas, sight lines and loading areas must be permanently retained and used for no other purpose at any time. Disabled parking bays shall be a minimum of 4.8m long by 3.6m wide, or at least 3.0m wide where two adjacent bays may share an unloading area.

REASON

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking, and loading facilities in compliance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan . (February 2008).

8 H13 Installation of gates onto a highway

No gates shall be installed which open outwards over the highway/footway.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM3 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

9 H14 Cycle Storage - details to be submitted

No part of the development hereby permitted shall be commenced until details of 35 covered and secure cycle storage spaces have been submitted to and approved in writing by the Local Planning Authority. Thereafter, the development shall not be occupied or brought into use until the approved cycling facilities have been implemented in accordance with the approved plan, with the facilities being permanently retained for use by cyclists.

REASON

To ensure the provision and retention of facilities for cyclists to the development and

hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

10 TL1 Existing Trees - Survey

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Species, position, height, condition, vigour, age-class, branch spread and stem diameter of all existing trees, shrubs and hedges on and immediately adjoining the site.
- (ii) A clear indication of trees, hedges and shrubs to be retained and removed.
- (iii) Existing and proposed site levels.
- (iv) Routes of any existing or proposed underground works and overhead lines including their manner of construction.
- (v) Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees and other vegetation to be retained during construction work.

REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

11 TL2 Trees to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

12 TL3 Protection of trees during site clearance and development

Prior to the commencement of any site clearance or construction work, detailed drawings

showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

13 TL5 Landscaping Scheme - (full apps where details are reserved)

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

14 TL6 Landscaping Scheme - implementation

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings,

whichever is the earlier period.

The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

15 TL7 Maintenance of Landscaped Areas

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

REASON

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

16 TL20 Amenity Areas (Residential Developments)

None of the dwellings hereby permitted shall be occupied, until the outdoor amenity area serving the dwellings as shown on the approved plans (including balconies where these are shown to be provided) has been made available for the use of residents of the development. Thereafter, the amenity areas shall so be retained.

REASON

To ensure the continued availability of external amenity space for residents of the development, in the interests of their amenity and the character of the area in accordance with policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policy 4B.1.

17 TL21 Tree Protection, Building & Demolition Method Statement

Prior to development commencing on site, a method statement outlining the sequence of development on the site including demolition, building works and tree protection shall be submitted to and approved by the Local Planning Authority, and the scheme thereafter implemented in accordance with the approved method statement.

REASON

To ensure that trees can be satisfactorily retained on the site in accordance with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

18 NONSC Contamination

The development hereby permitted shall not commence until a scheme to deal with contamination has been submitted in accordance with the Supplementary Planning Guidance on Land Contamination and approved by the Local Planning Authority (LPA). All works which form part of the remediation scheme shall be completed before any part of the development is occupied or brought into use unless the LPA dispenses with any such requirement specifically and in writing.

The scheme shall include all of the following measures unless the LPA dispenses with any such requirement specifically and in writing:

(i) A desk-top study carried out by a competent person to characterise the site and provide information on the history of the site/surrounding area and to identify and evaluate all potential sources of contamination and impacts on land and water and all other identified receptors relevant to the site;

(ii) A site investigation, including where relevant soil, soil gas, surface and groundwater sampling, together with the results of analysis and risk assessment shall be carried out by a suitably qualified and accredited consultant/contractor. The report should also clearly identify all risks, limitations and recommendations for remedial measures to make the site suitable for the proposed use;

(iii) (a) A written method statement providing details of the remediation scheme and how the completion of the remedial works will be verified shall be agreed in writing with the LPA prior to commencement and all requirements shall be implemented and completed to the satisfaction of the LPA by a competent person. No deviation shall be made from this scheme without the express written agreement of the LPA prior to its implementation.

(b) If during remedial or development works contamination not addressed in the submitted remediation scheme is identified, an addendum to the remediation scheme must be agreed with the LPA prior to implementation; and

(iv) Upon completion of the remedial works, this condition will not be discharged until a verification report has been submitted to and approved by the LPA. The report shall include details of the final remediation works and their verification to show that the works have been carried out in full and in accordance with the approved methodology.

Note: The Environmental Protection Unit (EPU) must be consulted at each stage for their advice when using this condition. The Environment Agency (EA) should be consulted when using this condition.

REASON

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

19 NONSC Noise

Development shall not begin until a scheme for protecting the proposed development from road traffic noise, has been submitted to and approved by, the Local Planning Authority. The noise protection scheme shall meet acceptable noise design criteria both indoors and outdoors. The scheme shall include such combination of sound insulation, acoustic ventilation and other measures as may be approved by the LPA. The approved scheme shall be implemented in full prior to first occupation of the development and thereafter be retained and maintained for the life of the development.

REASON

To ensure that the amenity of the occupiers of the proposed development is not adversely affected by road traffic noise in accordance with policy OE5 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

20 NONSC Ventilation

Mechanical ventilation, air-conditioning or air handling plant and/or machinery shall not be used on the premises until a scheme which specifies the provisions to be made for the control of noise emanating from the site or to other parts of the building, has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include such combination of measures as may be approved by the LPA. Thereafter, the scheme shall be implemented and maintained in full compliance with the approved measures.

REASON

To safeguard the amenity of the surrounding area in accordance with policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

21 NONSC Air Quality - Protecting future residents

The development shall not commence until details of a scheme designed to minimise the ingress of polluted air has been submitted and approved by the LPA. The said scheme shall include such secure provision as to ensure it endures for so long as the development is available for use.

REASON

In areas where there the air pollution levels are above, or close to, the national and European limits, this is designed to safeguard the future residents from the ingress of the poor outdoor air quality in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), Policy 4A.17 of the London Plan and the Council's Air Quality SPG. The design must take into account climate change pollutants and ensure there are no trade-offs between local and global pollutant emissions.

Suitable ventilation systems will need to:

- o Take air from a clean location or treat the air and remove pollutants;
- o Designed to minimise energy usage;
- o Be sufficient to prevent summer overheating;
- o Have robust arrangements for maintenance.

22 OM19 Construction Management Plan

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures

- to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
 - (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

23 DIS5 Lifetime Homes & Wheelchair Standards - Details

No development shall commence until details have been submitted to, and approved in writing to the Local Planning Authority demonstrating that all residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. In addition 4 units shall be constructed as full wheelchair accessible units in full accordance with the details shown on drawing PO5 Rev A. Thereafter all units on site shall be constructed in full accordance with the approved details and/or drawing PO5 Rev A.

REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (February 2008) Policies 3A.5, 4B.1 & 4B.5 and the Council's Supplementary Planning Document 'Accessible Hillingdon'.

24 SUS2 Energy Efficiency Major Applications (outline where energy s

No development shall take place on site until an energy efficiency report has been submitted to, and approved in writing by the Local Planning Authority. The energy efficiency report shall demonstrate how the Mayors Energy Hierarchy will be integrated into the development, including a full assessment of the site's energy demand and carbon dioxide emissions, measures to reduce this demand and the provision of 20% of the sites energy needs through on site renewable energy generation. The methods identified within the approved report shall be integrated within the development and thereafter permanently retained and maintained.

REASON

To ensure that the development incorporates appropriate energy efficiency measures in accordance with policies 4A.1, 4A.3, 4A.4, 4A.6, 4A.7, 4A.9, and 4A.10 of the London Plan (February 2008).

25 SUS5 Sustainable Urban Drainage

No development shall take place on site until details of the incorporation of sustainable urban drainage have been submitted to, and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed on site and thereafter permanently retained and maintained.

REASON

To ensure that surface water run off is handled as close to its source as possible in compliance with policy 4A.14 of the London Plan (February 2008) and to ensure the development does not increase the risk of flooding contrary to Policy OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), policies 4A.12 and 4A.13 of the London Plan (February 2008) and PPS25.

26 SUS8 Electric Charging Points

Before development commences, plans and details of 2 electric vehicle charging point(s), serving the development and capable of charging multiple vehicles simultaneously, shall be submitted to and approved in writing by the Local Planning Authority.

REASON

To encourage sustainable travel and to comply with London Plan Policy 4A.3.

27 NON2 Roof Terrace Privacy & Safety

No development shall take place until details of measures to prevent overlooking arising from the roof terrace and to prevent future occupants from falling from the roof structure have been submitted to, and approved in writing by, the Local Planning Authority. The measures will be implemented in accordance with the approved details prior to occupation of the development and thereafter permanently retained.

REASON

To ensure the appearance of the balconies and roof terrace screening is appropriate and to prevent overlooking to adjoining properties in accordance with policies BE13 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

28 OM14 Secured by Design

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures shall be submitted and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 4B.1 and 4B.6 of the London Plan.

29 NONSC CCTV & Lighting

Prior to development commencing, the applicant shall submit details of CCTV and lighting systems for the site. These shall demonstrate a number of cameras and coverage commensurate with that shown on the details at application stage. The approved details shall be installed prior to first occupation of any part of the development hereby approved and thereafter permanently maintained.

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, and to reflect the guidance contained in Circular 5/94 'Planning Out Crime' and the Council's SPG on Community Safety By Design.

30 NONSC Archaeology

No development shall take place until the applicant has secured the implementation of a programme of archaeological work, in accordance with a written scheme of investigation which has been submitted by the applicant and approved by the Local Planning Authority.

REASON

To ensure that the proposed development does not disturb archaeological remains of importance in accordance with policy BE1 of the Hillingdon Unitary Development Plan Saved Policies.

31 NONSC Vehicular access gate

Prior to the commencement of the development hereby approved details of the access gate to the undercroft car park, incorporating facilities for its operation by disabled persons, and capable of being manually operated in the event of a power failure shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the access gate shall be installed in accordance with the approved details and maintained for so long as the development remains on site.

REASON

In order to ensure the development achieves an appropriate level of accessibility in accordance with Policy 3A.5 of the London Plan and the HDAS - Residential Layouts.

32 NONSC No Satellite Dishes/Antennae

Notwithstanding the provisions of Schedule 2, Part 25 of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no satellite dishes or antennae shall be installed on the building hereby approved.

REASON

To enable the Local Planning Authority to assess all the implications of the development and in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

33 NONSC Details of Fenestration

No development shall commence on site until full details of all fenestration, including details of any angled windows and samples of any obscure glazing, have been submitted to, and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in full accordance with the approved details.

REASON

In order to ensure that both neighbouring and future occupiers benefit from an acceptable level of privacy in accordance with Policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

34 NONSC Details of Spiral Staircase

No development shall commence on site until full details of the external spiral staircase have been submitted to, and approved in writing by, the Local Planning Authority. The submitted details shall include elevations, details of balustrades/handrails, materials and colours. Thereafter the development shall be implemented in full accordance with the approved details.

REASON

In order to ensure the escape stairs maintain an appropriate visual appearance in keeping with the character of the area in accordance with Policy BE13 of the Hillingdon

Unitary Development Plan Saved Policies (September 2007).

35 NONSC Rainwater Recycling

No phase of the development hereby approved shall take place until details of water efficiency measures for that phase, including grey water recycling, have been submitted and approved in writing by the Local Planning Authority. The development shall not be used until the approved measures have been implemented and shall thereafter be permanently retained and maintained unless otherwise agreed in writing by the Local Planning Authority.

REASON

To safeguard water resources in accordance with Policy 4A.16 of the London Plan

36 NONSC Evacuation Management Plan

No development shall take place until a management plan, setting out details of how disabled persons are to be evacuated from the buildings in the event of emergencies, including fires, and defining a protocol for evacuation using the new lift, as well as practices and procedures to be used in the event that disabled people are on the first floor and the lift is unreachable due to fire.

REASON

TO ensure that people with disabilities have adequate access to the development in accordance with Policy R16 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan Policies (February 2008) Policies 3A.17 and 4B.5.

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

- | | |
|------|--|
| BE13 | New development must harmonise with the existing street scene. |
| OE1 | Protection of the character and amenities of surrounding properties and the local area |
| BE24 | Requires new development to ensure adequate levels of privacy to neighbours. |
| AM14 | New development and car parking standards. |
| AM3 | Proposals for new roads or widening of existing roads |
| AM8 | Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes |
| AM9 | Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking |

	facilities
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE23	Requires the provision of adequate amenity space.
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
OE5	Siting of noise-sensitive developments
LPP 4B.1	London Plan Policy 4B.1 - Design principles for a compact city.
LPP 3A.5	London Plan Policy 3A.5 - Housing Choice
LPP 4B.5	London Plan Policy 4B.5 - Creating an inclusive environment.
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
LPP 4A.7	London Plan Policy 4A.7 - Renewable Energy
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
LPP 4B.6	
BE1	Development within archaeological priority areas

3 11 Building to Approved Drawing

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 112 Notification to Building Contractors

The applicant/developer should ensure that the site constructor receives copies of all drawings approved and conditions/informatives attached to this planning permission. During building construction the name, address and telephone number of the contractor (including an emergency telephone number) should be clearly displayed on a hoarding visible from outside the site.

5 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by

means that would minimise disturbance to adjoining premises.

6 117 **Communal Amenity Space**

Where it is possible to convey communal areas of landscaping to individual householders, the applicant is requested to conclude a clause in the contract of the sale of the properties reminding owners of their responsibilities to maintain landscaped areas in their ownership and drawing to their attention the fact that a condition has been imposed to this effect in this planning permission.

7 123 **Works affecting the Public Highway - Vehicle Crossover**

The development requires the formation of a vehicular crossover, which will be constructed by the Council. This work is also subject to the issuing of a separate licence to obstruct or open up the public highway. For further information and advice contact: - Highways Maintenance Operations, 4W/07, Civic Centre, Uxbridge, UB8 1UW.

8 13 **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

9 131 **Sites of Archaeological Interest**

The application falls within an area in which archaeological finds of importance might be uncovered and while the scale of the works does not necessitate a full archaeological evaluation, a 'watching brief' may be required. Before commencement of the proposed works, you are therefore requested to send a copy of the approved drawings to English Heritage to allow them the opportunity to keep a watching brief during the course of the works. Contact - English Heritage, 23 Savile Row, London, W1S 2ET (Tel. 020 7973 3000).

10 143 **Keeping Highways and Pavements free from mud etc**

You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act 1980.

11 147 **Damage to Verge**

You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

12 149 **Secured by Design**

The Council has identified the specific security needs of the application site to be:
Appropriate boundary treatment, including provision of defensive spaces adjacent to the ground floor units;
Full access control to the car parking area;
CCTV coverage of the site, in particular the car parking area and cycle parking.

You are advised to submit details to overcome the specified security need(s) in order to comply with condition 28 of this planning permission.

(Please Note: This Informative must accompany Condition OM14).

13 158 Opportunities for Work Experience

The developer is requested to maximise the opportunities to provide high quality work experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

Please contact: Mr Peter Sale, Chief Executive Officer, Hillingdon Training Ltd: contact details - c/o Hillingdon Training Ltd, Unit A, Eagle Office Centre, The Runway, South Ruislip, HA4 6SE Tel: 01895 671 976 email: petersale@hillingdontraining.co.uk

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The applicant is encouraged to discuss with Council officers in conjunction with the Metropolitan Police Crime Prevention Officer whether on site CCTV cameras can be linked to the Councils central CCTV system.

3. CONSIDERATIONS

3.1 Site and Locality

The application site has an area of approximately 0.26ha and a disused garage building, formerly used as a car showroom and vehicle workshop. The existing building on site comprises a largely single storey structure, with a part two storey projection located over the middle of the site. The remainder of the site is covered by hard standing. The site has recently been fenced off with hoardings.

The site is bounded by Station Road to the north, to the east by Drayton Gardens and to the west and south by residential properties. The site has an overall frontage to Station Road of approximately 59 metres and extends around the corner to partially front Drayton Gardens by approximately 16 metres. The site, while located within a Town Centre location is located within an area that reflects a predominant scale of two to three storey residential and mixed use development. The application site is bounded by two storey detached residential dwellings to the south and east, and to the west is a larger scale three storey flatted development and on the north side of Station Road, there is a mix of two and three storey office and mixed use development.

Station Road is designated as a Local Distributor Road on the Proposals Map of the adopted Hillingdon Unitary Development Plan. The site is located approximately 300 metres from West Drayton Rail Station and has a Public Transport Accessibility Level (PTAL) score of 3 on a scale of 1 to 6 where 6 represents the highest level of

accessibility.

The site has three existing vehicle access points, two off Station Road and one (an egress only) off Drayton Gardens.

3.2 Proposed Scheme

Full planning permission is sought for the redevelopment of the site for a residential development comprising of 35 residential units associated amenity space and parking.

The proposal provides for a residential mix comprising 12 one bedroom units, 21 two bedroom units and 2 three bedroom units. The scheme proposes 10% of the units to be designed to wheelchair accessible standards (units 4, 16, 22 and 29) all of which are on floors serviced by two lifts.

The development provides for a part two, part three storey development, supported by an undercroft parking area with 35 spaces (four of which are designed to standards appropriate for disabled occupiers).

The development is supported by approximately 840sq.m of communal amenity space comprising two areas of ground floor communal amenity space and a communal roof terrace. A children's play area is proposed, located in the centre of the site well away from the road frontage. Additionally five of the ground floor units would be provided with private amenity areas or terraces.

The scheme represents a resubmission of an application previously dismissed at appeal (Appeal Ref: APP/R5510/A/10/2120328/NWF) in an attempt to overcome the Inspectors concerns. A summary of the amendments is:

- * reduction in height to a maximum of three storey
- * reduction in the number of proposed units;
- * replacement of undercroft amenity area with 3 units; and
- * additional information relating to security of the undercroft parking area.

3.3 Relevant Planning History

2954/APP/2007/2344 70 Station Road West Drayton

ERECTION OF A PART TWO, PART THREE, PART FOUR, PART FIVE STOREY RESIDENTIAL BUILDING TO ACCOMMODATE 66 FLATS WITH ASSOCIATED BASEMENT PARKING AND LANDSCAPING.

Decision: 30-10-2007 Refused **Appeal:** 27-02-2008 Withdrawn

2954/APP/2008/1160 70 Station Road West Drayton

ERECTION OF A RESIDENTIAL BUILDING TO ACCOMMODATE 59 FLATS WITH ASSOCIATED BASEMENT PARKING AND LANDSCAPING CONDITIONS.

Decision: 08-09-2008 Refused

2954/APP/2009/118 70 Station Road West Drayton

Mixed-use development consisting of a single retail unit (internal floorspace of 310 sq metres), and 41 residential dwellings with associated parking.

Decision: 05-05-2009 Refused

2954/APP/2009/1488 70 Station Road West Drayton

43 residential dwellings (consisting of 14 one- bedroom units, 26 two-bedroom units, 3 three-bedroom units) with associated parking and landscaping.

Decision: 30-11-2009 Refused

Appeal: 18-05-2010 Dismissed

Comment on Relevant Planning History

The application site has an extensive history of 4 previous applications for residential redevelopment, each of which has been refused for individual reasons.

The most relevant planning history is application 2954/APP/2009/1488 which was refused on the 30 November 2009 for the following reasons:

1. The proposed development, by reason of its density, design, layout and scale, represents an over-development of the site, which fails to harmonise with the existing street scene and is out of keeping with the character and appearance of the surrounding area. The proposal is therefore contrary to Policies BE13 and BE19 of the London Borough of Hillingdon Unitary Development Plan (adopted 1998) Saved Policies 27th September 2007 and Policy 3A.3, and 4B.1 of the London Plan.

2. The proposed development will have a detrimental impact upon the outlook, visual amenity and privacy currently enjoyed by occupiers of neighbouring residential properties, in particular No 2 Drayton Gardens, contrary to Policies BE21 and BE24 of the London Borough of Hillingdon Unitary Development Plan Saved Policies September 2007 and Hillingdon's HDAS Residential Layouts SPD.

3. The proposed development by reason of its design and layout fails to provide for both a high quality and safe external living environment for future occupiers, in particular the scheme provides for a poor quality design response for all ground level communal amenity areas within the site that immediately adjoin the proposed undercroft parking areas and access road. The proposal fails to incorporate measures to minimise the risk of crime and meet the specific security needs of the application site, including the proposals lack of access controls into the site and inadequate levels of natural surveillance over the main communal amenity spaces. As such, the development is contrary to Policy BE23 of the Hillingdon Unitary Development Plan Saved Policies 2007, and Policies 3A.3, 4B.1 and 4B.6 of the London Plan 2004 and the design principles contained within the adopted Hillingdon Design and Access Statement (HDAS): Residential Layouts.'

4. The development fails to reserve appropriate space on the road frontage to enable the establishment of tree planting which would be of an appropriate scale alongside the proposed building. Without the provision of appropriate tree planting the development as a whole would fail to achieve an appropriate appearance within the street scene contrary to policies BE13, BE19 and BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5. The applicant has failed to provide contributions towards the improvements of services and facilities as a consequence of demands created by the proposed development (in

respect of education, health, community facilities, town centre improvements and open space facilities). The scheme therefore conflicts with Policy R17 of the London Borough of Hillingdon Unitary Development Plan (adopted 1998) Saved Policies 27th September 2007.

6. The applicant has failed to provide, through an appropriate legal agreement, an adequate provision of on site affordable housing. The proposal is therefore contrary to Policy Pt1.17 of the London Borough of Hillingdon Unitary Development Plan Saved Policies September 2007, Policies 3A.10 and 3A.11 of the London Plan (February 2008) and the London Borough of Hillingdon's Supplementary Planning Document on Planning Obligations.

An appeal; supported by a unilateral undertaking securing affordable housing and contributions towards education, health, library, public realm and community facilities; was subsequently lodged with the Planning Inspectorate.

The appeal was dismissed on the 18 May 2010, with only limited aspects of the Council's refusal reasons upheld. The Inspectors conclusion on each of the Council's concerns and where appropriate officer comment are provided below for reference.

1. CHARACTER AND APPEARANCE

Inspectors conclusion - 'On this issue I conclude that, whilst the acceptability of the proposals would not depend on trees and that it has not been shown that the flats would constitute over-development, neither of these points would outweigh the harm to the character and appearance of the area as a result of the uncharacteristic height. The proposals would therefore conflict with current adopted Policies BE13 and BE19 of the Hillingdon Unitary Development Plan (UDP) which require the appearance of development to harmonise with the existing streetscene and for new development within residential areas to complement the character of the area.'

Officer comment - It is noted that the Inspector found harm only by way of the developments height.

2. LIVING CONDITIONS OF NEIGHBOURING OCCUPIERS

Inspectors conclusion - 'For all these reasons I find that the proposals would not lead to an unacceptable loss of privacy to No.2 Drayton Gardens. I therefore find that the living conditions for neighbouring residents would be acceptable and would accord with UDP Policies BE21 and BE24 which do not permit a significant loss of residential amenity and require privacy to be protected.'

3a.AMENITY SPACE

Inspectors conclusion - 'A small part of the proposed amenity space would be under the building adjoining the proposed parking area. While this arrangement might keep rain off a barbecue I consider it would otherwise be unsuitable as an amenity space. However, this area does not need to be included as part of the overall calculations for the proposed amenity spaces to satisfy the Council's Supplementary Planning Document (SPD) titled Hillingdon Design and Access Statement: 'Residential Layouts' (HDAS). While a larger area would be alongside the parking, conditions could require screening to separate these areas. On this issue I find that the proposals would accord with UDP Policy BE23 which requires new residential buildings to provide sufficient external amenity space.'

3b. CRIME

Inspectors conclusion - 'Given the extent of access and the lack of supervision from adjacent flats I consider that the parking area would be likely to attract criminal activity. For these reasons I find that the proposals would be poorly designed with regard to the need to minimise crime. The proposals would therefore conflict with the need to minimise crime. The proposals would therefore conflict with the design principles in the adopted HDAS which aims to 'design out' crime.'

4. FRONTAGE LANDSCAPING

The Inspectors conclusion on reason for refusal 1 incorporated consideration of this matter.

5. & 6. UNILATERAL UNDERTAKING

Inspectors conclusions - 'The undertaking would provide for 20% of the flats to be affordable housing. While this would be below the normal expectation the Council confirmed that, in light of the submitted Financial Viability Assessment, this would be acceptable. I agree and find that this provision would satisfy Local Plan Policy Pt1.17 and meets the tests in Regulation 122.'; and

'The financial contributions would be in accordance with the adopted formulae in the Council's SPD on Planning Obligations. However, other than generalised claims at the Hearing that these would be local projects, I have little information on how they would be related to the proposed development. Consequently I am not persuaded that these contributions would accord with the tests in Regulation 122 and I am therefore unable to take them into account in determining this appeal.'

Officer comment - The Inspectors conclusion is a material consideration, however the conclusion in relation to planning obligations relates to the information before the Inspector at the time. Officers are of the view that the contributions are robust and can be fully justified.

GENERAL

In addition it is noted that the Inspector acknowledged that the proposals would be acceptable with regard to the loss of the existing garages, sustainability, the use of brownfield land, the mix of housing, traffic and parking, proximity to facilities and transport link, and offer benefit to regeneration.

The current application is a resubmission, which is very similar in layout and design to the proposal considered at appeal, however the applicant has made amendments to key aspects of the scheme such as height, in an attempt to overcome the Inspectors concerns.

4. Planning Policies and Standards

Planning Policy Statement 1 (Delivering Sustainable Development)

Planning Policy Statement Planning and Climate Change

Planning Policy Statement 3 (Housing)

Planning Policy Guidance Note 13 (Transport)

The London Plan (2008)

Hillingdon Unitary Development Plan Saved Policies September 2007.

Hillingdon Design and Accessibility Statement - New Residential Layouts

Accessible Hillingdon Supplementary Planning Document

Hillingdon Supplementary Planning Document, Planning Obligations

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

Part 2 Policies:

- BE13 New development must harmonise with the existing street scene.
- OE1 Protection of the character and amenities of surrounding properties and the local area
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- AM14 New development and car parking standards.
- AM3 Proposals for new roads or widening of existing roads
- AM8 Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
- AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- BE23 Requires the provision of adequate amenity space.
- OE11 Development involving hazardous substances and contaminated land - requirement for ameliorative measures
- OE5 Siting of noise-sensitive developments
- LPP 4B.1 London Plan Policy 4B.1 - Design principles for a compact city.
- LPP 3A.5 London Plan Policy 3A.5 - Housing Choice
- LPP 4B.5 London Plan Policy 4B.5 - Creating an inclusive environment.
- LPP 4A.3 London Plan Policy 4A.3 - Sustainable Design and Construction.
- LPP 4A.7 London Plan Policy 4A.7 - Renewable Energy
- OE8 Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
- LPP 4B.6
- BE1 Development within archaeological priority areas

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **16th November 2010**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

The application was advertised in accordance with the statutory requirements and 98 nearby owner/occupiers consulted including the Yiewlsey & West Drayton Town Centre Action Group and the Yiewsley Community Involvement Group.

4 letters of objection have been received raising concerns regarding:

- (i) Construction impacts;
- (ii) Traffic and congestion implications;
- (iii) Adequacy of infrastructure (plumbing etc.);
- (iv) Loss of privacy;
- (v) Potential damage to property arising from proposed landscaping;
- (vi) Adequacy of proposed parking arrangements; and
- (vii) Adequacy of infrastructure (schools, healthcare etc.)

ENGLISH HERITAGE

I do not consider that any further work need be undertaken prior to determination of this planning application but that the archaeological position should be reserved by attaching a condition to any consent granted under this application.

THAMES WATER

No objections, but would seek to provide advice to the applicant by way of informatives should approval be granted.

DEFENCE ESTATES

No objection.

BAA

No objection.

NATS

No objection.

CRIME PREVENTION DESIGN ADVISER

No objection, subject to conditions to ensure:

- (i) Achievement of Secure by Design Standards; and
- (ii) The provision of the CCTV system which has been previously discussed with the applicant.

Internal Consultees

POLICY

No objection, as per previous applications.

HIGHWAYS

No objection.

URBAN DESIGN

Background:

This application, on a site currently occupied by a garage, lies on the edge of the commercial area in West Drayton. The proposal has been refused permission on four previous occasions, and on the last occasion it was dismissed on appeal.

Whilst the principle of a modern flatted development would be quite acceptable in an area such as this, and the overall height has been reduced to two and three storeys to fit better with its context, there are aspects of the proposed design which give rise to concern. These include the rolled zinc hipped, crown roofs (flat roofs are considered preferable), the bland, undercroft parking at pavement level and the lack of adequate planting space along the Station Road frontage.

Both the concern at the design and the inadequacy of the planting, were aired in full at the recent appeal hearing, but the Inspector, in his report, found these elements satisfactory and registered

concern only at the overall height of the scheme. Given that the height has now been lowered, there is not considered to be room for manoeuvre on other matters. In the circumstances, the scheme is considered acceptable.

Recommendations:
Acceptable

TREES AND LANDSCAPE

There are several trees close to the site, but none on it.

The application includes an arboricultural (tree) survey and report (from 2009). The report confirms that there are no trees on the site, but there is a group of trees (off-site) close to the southern boundary of the site, which includes one significant tree, a Sycamore (tree 5), in the group. Tree 5 affords some screening of the site and is a constraint on the development of the site.

The report refers to proposed layout and confirms that, subject to a detailed methodology of works about 5-6m from the Sycamore, the scheme makes provision for the long-term retention of the existing trees of merit. Tree-related matters can be dealt with by conditions TL1 (levels and services), TL2, TL3 (referring to the submitted/approved tree protection drawing), and TL21 (tree protection and construction method statement).

There is very limited space for landscaping on the road frontage of the site and for trees close to the front wall of the building. However, this matter was considered by the Inspector, who dismissed the appeal against the Council's refusal to grant permission previously. The Inspector found that, whilst such trees might either be unsuccessful or may have to be pruned, the lack of planting would not in itself harm the character or appearance of the street scene.

In the light of the Inspector's decision, and subject to conditions TL1, TL2, TL3, TL5, TL6, TL7 and TL21, the application is acceptable in terms of Saved Policy BE38 of the UDP.

ACCESS OFFICER

The amended plans address all of my previous comments with the exception of the following:

1. The bathrooms/ensuite facilities should be designed in accordance with Lifetime Home standards. At least 700mm should be provided to one side of the WC, with 1100 mm provided between the front edge of the toilet pan and a door or wall opposite.

No objection, subject to the above point being addressed.

S106 OFFICER

The applicant has submitted a Financial Viability Assessment which demonstrates that the scheme is able to provide a maximum of 3 x one bedroom and 3 x two bedroom units as affordable housing alongside the planning obligations required. This assessment has been independently verified and accordingly affordable housing is not sought in relation to the development.

The proposed development of 43 residential units would therefore necessitate the following contributions in line with the Council's Supplementary Planning document for Planning Obligations:

Affordable Housing: 3 x one bedroom units and 3 x two bedroom units;

Education: a contribution in the sum of £102,323;

Health: a contribution in the sum of £13,682.71;

Community facilities: a contribution in the sum of £30,000;

Town centre: a contribution in the sum of £20,000;

Libraries: a contribution in the sum of £1,452.45;

Construction Training: either a contribution in accordance with the adopted formula or in-kind; and Project Management and Monitoring fee: 5% of total cash contributions.

ENVIRONMENTAL PROTECTION UNIT - CONTAMINATION

I refer to the new planning application for the above development and my previous e-mail to Nigel Bryce of 26 June 2008 regarding the previous application for 59 Flats (2954/APP/2008/1160).

The information submitted with the new application is the same information considered previously for the last application. There is no separate detailed remediation strategy yet for the site. Therefore the comments in my previous e-mail still apply.

Briefly the two reports in the new application are: A summary report (Phase 1) by Arcadis Consultants dated November 2001 provides details on the 1997 decommissioning of the petrol station by the removal of underground fuel tanks and contaminated soil found near the tanks. A second report by GEA Consultants dated June 2007 provides a new site investigation, and advice on contamination levels and remediation issues.

There will likely be some significant remediation necessary at this site. However it may be that the proposed large car basement will account for the removal of much contaminated soil. I would advise adding out contaminated land condition to any permission as below.

Recommendation: Should permission be granted the Council's standard contamination and remediation condition be imposed.

ENVIRONMENTAL PROTECTION UNIT - NOISE & AIR QUALITY

Noise:

I confirm that the environmental noise survey and PPG24 assessment report has been received. The front facade of the building falls within category C of PPG24 Noise Exposure Categories for Dwellings.

PPG24 NEC Category C states that: -

Planning permission should not normally be granted. Where it is considered that permission should be given, for example because there are no alternative quieter sites available, conditions should be imposed to ensure a commensurate level of protection against noise

A condition requiring a scheme for noise mitigation measures is therefore required.

Air Quality:

The proposed development will introduce a number of residential units to an area that falls within APEC-B. The London Councils Guidance states that :-
where a site falls within APEC B consideration should be given to mitigation measures aimed at reducing the exposure of future occupants to elevated pollution levels.

As indicated in the submitted Air Quality Assessment, consideration should be given to additional measures such as the use of non-opening windows for ground floor units, the internal design of each unit, locating habitable rooms away from the front facade facing onto Station Road and the installation of mechanical ventilation, which would provide further protection against exposure to elevated pollution concentrations. The most appropriate measures need to be discussed and agreed with LBH.

Ideally , we would want to be seeing ventilation systems that minimise polluted air from outside being drawn into residential dwellings. This could be secured by way of condition.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy LE4 considers proposals that involve the loss of existing industrial floorspace or land outside designated industrial and business areas.

Whilst the garage is a Sui Generis use, the workshop type functions would bring it within industrial floorspace consideration. The site has been vacant for two years, however it is noted that recently limited use has been reintroduced on site. The site is immediately adjacent to a residential area. There are other vacant sites in nearby designated employment locations which are considered more appropriate for industrial and warehousing activities. The site has the potential to contribute to the regeneration of Yiewsley and West Drayton town centre. As a result Policy LE4's requirements are met in terms of the re-use.

Policy H4 states that a mix of housing units of different sizes should be provided in residential developments and in particular one and two bedroom units within Town Centre locations will be preferable. The supporting text states: 'The Council recognises the importance of residential accommodation in town centres as a part of the overall mix of uses which is necessary to ensure their vitality and attractiveness. Such housing offers particular advantages in terms of accessibility to town centre facilities, employment opportunities and public transport. In order to maximise the residential potential of town centre sites, residential development within them should comprise predominantly one or two-bedroom units.

The scheme provides for a percentage mix of 35% 1-bed and 60% 2-bed 5% 3 bed units. This mix is considered to be acceptable with respect to Policy H4.

Policy H5 states that the Council will encourage the provision of dwellings suitable for large families. However, the proposal will promote an appropriate mix of 1, 2 and 3 bed units within this Town Centre location and provides for an increase in the number of units which would meet other forms of housing need in the Borough.

On the basis that there is an established need and that the re-use of brownfield land is encouraged, provided site specific issues are addressed, the principle for the re-use of the site for residential can be established.

7.02 Density of the proposed development

London Plan Policy 3A.3 seeks to maximise the potential of sites. The site is in a District centre with an urban character with a PTAL of 3. The London Plan (2008) provides for a density range between 70-170u/ha or 200-450hr/ha for sites with a PTAL 3 in an urban location and with an indicative average unit size of 2.7hr-3.0hr/unit.

The scheme would result in a density of 131 units per hectare or 363 habitable rooms per hectare.

The proposed scheme therefore falls within the London Plan table 3A.2 Density matrix indicative guidelines in terms of number of units and habitable room guidelines. Subject to the scheme achieving an appropriate design in relation to other planning policies and other material considerations the proposed density is considered acceptable.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The site is located within an Archaeological Priority Area, being an area where archaeological remains may be anticipated. English Heritage has requested that an archaeological condition be carried through in the event that the scheme is approved.

7.04 Airport safeguarding

Defence Estates Safeguarding, BAA and NATS (En Route) Limited have no safeguarding objections to the proposal.

7.05 Impact on the green belt

The proposal is not located within the Green Belt and therefore no Green Belt policies are relevant to the consideration of this scheme.

7.07 Impact on the character & appearance of the area

The design and layout of the scheme remain consistent with those previously considered under application 2954/APP/2009/1488, in particular the roof form, fenestration and materials are consistent with the previous proposal. However the density of the development has been reduced by 8 units and this has enabled the development to be accommodated with a maximum height of 3 storeys, as opposed to the 4 storey height which was sought previously.

The Council's first and fourth reasons for refusal on the previous application stated:

'The proposed development, by reason of its density, design, layout and scale, represents an over-development of the site, which fails to harmonise with the existing street scene and is out of keeping with the character and appearance of the surrounding area. The proposal is therefore contrary to Policies BE13 and BE19 of the London Borough of Hillingdon Unitary Development Plan (adopted 1998) Saved Policies 27th September 2007 and Policy 3A.3, and 4B.1 of the London Plan.'; and

'The development fails to reserve appropriate space on the road frontage to enable the establishment of tree planting which would be of an appropriate scale alongside the proposed building. Without the provision of appropriate tree planting the development as a whole would fail to achieve an appropriate appearance within the street scene contrary to policies BE13, BE19 and BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).'

Accordingly, these issues were subject to deliberation by the Inspector under the Secretary of State's appeal decision (Ref: APP/R5510/A/10/2120328) finding that:

'The flats would be in a contemporary style with relatively low pitched roofs and varied materials which would help to break up the street façade. Nonetheless, simply on account of its height, I find that the proposed block would stand out as uncharacteristic in the street scene. I have noted that there is a 4 storey development in nearby Swan Road but also that the substantial fall in ground level means that this does not rise significantly higher than the 3 storey buildings along Station Road. I have considered the claim that the block of flats would be a landmark building. However, not only is the site away from any significant junction but its fragmented design seems to me to aim to blend in rather than stand out. For the above reasons I find that the increased height would create an unwelcome rise in roof levels and be significantly out of keeping not only with most of the adjacent residential streets but also with the nearby commercial buildings.';

'The street elevation would include a number of trees which might further break up and soften the facade. The trees would be narrow specimens to fit into the limited space behind the footway and minimise the likelihood that they would block light to windows. The Council has argued that there would be inadequate space for these trees. I accept that the trees might either be unsuccessful or that, if they did grow well, they might lead to

requests for pruning which would lessen their effect. Nonetheless, I saw few appreciable areas of planting in front of nearby buildings and conclude that, while important as part of the elevational composition, lack of significant planting would not in itself harm the character or appearance of the street scene.'; and

'On this issue I conclude that, whilst the acceptability of the proposals would not depend on trees and that it has not been shown that the flats would constitute over-development, neither of these points would outweigh the harm to the character and appearance of the area as a result of the uncharacteristic height. The proposals would therefore conflict with current adopted Policies BE13 and BE19 of the Hillingdon Unitary Development Plan (UDP) which require the appearance of development to harmonise with the existing streetscene and for new development within residential areas to complement the character of the area.'

It is clear from the Inspectors conclusion that the density, layout and design approach were considered acceptable and that the Inspector did not consider the acceptability of the scheme to fail on the landscaping proposals along the frontage. In fact the only concern raised by the Inspector in dismissing the appeal was that the height of the 4 storey element was considered uncharacteristic in the street scene.

The height of the current proposal at three storeys dropping to two storeys adjacent to no.2 Drayton Gardens, has been reduced from that considered by the Inspector and is considered to provide an appropriate interface between the three storey buildings at Classon Close and the 2 storey buildings (including no.2 Drayton Gardens) to the east. The height now proposed is commensurate with that of surrounding buildings and considered appropriate within the wider street scene.

Having regard to the appeal decision, which found no harm with other aspects of the design the proposed scheme is considered to have addressed the Inspectors concerns and would retain an appropriate appearance within the street scene in accordance with Policies BE13 and BE19 of the Saved Policies UDP.

7.08 Impact on neighbours

The footprint of the proposed building is identical to that previously considered and while the height of the building has been reduced by one storey, which would serve to reduce its bulk, all fenestration above ground floor level remains identical to that contained within the previous application. Similarly the location and size of the proposed roof terrace remains identical. The Council's second reason for refusal on the previous application stated:

'The proposed development will have a detrimental impact upon the outlook, visual amenity and privacy currently enjoyed by occupiers of neighbouring residential properties, in particular No 2 Drayton Gardens, contrary to Policies BE21 and BE24 of the London Borough of Hillingdon Unitary Development Plan Saved Policies September 2007 and Hillingdon's HDAS Residential Layouts SPD.'

As this formed part of the Council's reasons for refusal it was considered subject to consideration by the Inspector who made the following comments in determining the appeal:

'No.2 Drayton Gardens adjoins part of the rear boundary of the appeal site. It has planning permission for a rear extension (Document 6). Some of the windows to the proposed flats would be quite close to the boundary with No.2. However, as a result of the design of the windows, the glazing would be at an oblique angle to the rear windows of No.2, both as

existing and as proposed by the permitted extension. Top floor windows to the 4 storey part of the block would have a view down towards the garden but also be rather further away. While the new flats would be readily apparent in views from No.2 the separating distance would prevent them being oppressive and as they would be to the north they would not prevent sunlight reaching the back garden.'; and

'For all these reasons I find that the proposals would not lead to an unacceptable outlook or loss of privacy to No.2 Drayton Gardens. I therefore find that the living conditions for neighbouring residents would be acceptable and would accord with UDP Policies BE21 and BE24 which do not permit a significant loss of residential amenity and require privacy to be protected.'

Similarly it is evident that the Inspector did not consider that the proposal would have resulted in an unacceptable impact on any other nearby residential properties.

The current proposal does not include any amendments to the footprint of the building, the location of habitable rooms, the location of above ground amenity space or the location of habitable rooms which would result in increased impacts on neighbouring properties above those considered under the appeal. Having regard to the the appeal decision, which represents a material consideration, and subject to conditions to ensure the provision of privacy screen to the roof terrace and the implementation of the proposed obscure glazing, it is not considered that the proposal would result in any significant harm to the amenity of neighbouring occupiers. The application is therefore considered to comply with Policies BE19, BE20, BE21 and BE24 of the Saved Policies UDP.

7.09 Living conditions for future occupiers

Policy BE23 of the Hillingdon Unitary Development Plan requires the provision of external amenity space which is sufficient to protect the amenity of the development and surrounding buildings and which is usable in terms of its shape and siting. The council's HDAS Residential Layout provides further guidance on this issue indicated that in flatted development communal amenity space should be provided in a quantum equating to 20sq.m per 1 bedroom unit, 25sq.m per 2 bedroom unit and 30sq.m per three bedroom unit.

In accordance with the Council's guidance a total of 825sq.m of communal amenity space would be required.

The application includes the provision of approximately 840sq.m of communal amenity space separated into three areas:

- * a ground floor area on the corner of Drayton Gardens (circa 115 sq.m);
- * a ground floor area in the centre of the site incorporating a children's play area (circa 390sq.m); and
- * a roof terrace(circa 335sq.m).

In addition, the two ground floor units adjacent to no.2 Drayton Gardens (nos.31 and 32)are also served by private terraces totalling approximately 35 sq.m, the three ground floor units to the south west of the site (nos. 33, 34 and 35) benefit from private external spaces totalling approximately 275sq.m, and a number of units are served by winter gardens, a form of specialised internal balcony.

All of the communal areas are sited to the south of the development and would achieve high levels of light. The area of amenity space adjacent to Drayton Gardens would suffer from slightly higher levels of noise due to it's proximity to the road, however the area

would remain usable for a number of outdoor amenity purposes and it is not considered that the slightly higher level of noise would detract from the external amenity environment provided by the scheme as a whole.

The layout of these spaces is similar to that proposed under the previous application, with the exception that a covered amenity area to provide for barbecues is no longer proposed, as the reduction in the number of units means this is not required in terms of meeting the external space standards within the HDAS - Residential Layouts.

The Council's third reason for refusal on the previous scheme stated that:

'The proposed development by reason of its design and layout fails to provide for both a high quality and safe external living environment for future occupiers, in particular the scheme provides for a poor quality design response for all ground level communal amenity areas within the site that immediately adjoin the proposed undercroft parking areas and access road. The proposal fails to incorporate measures to minimise the risk of crime and meet the specific security needs of the application site, including the proposals lack of access controls into the site and inadequate levels of natural surveillance over the main communal amenity spaces. As such, the development is contrary to Policy BE23 of the Hillingdon Unitary Development Plan Saved Policies 2007, and Policies 3A.3, 4B.1 and 4B.6 of the London Plan 2004 and the design principles contained within the adopted Hillingdon Design and Access Statement (HDAS): Residential Layouts.'

This issue of the adequacy of external amenity space provision for future occupiers was discussed at length as part of the Public Inquiry held for appeal APP/R5510/A/10/2120328 and the Inspector concluded that:

'A small part of the proposed amenity space would be under the building adjoining the proposed parking area. While this arrangement might keep the rain off a barbecue I consider that it would otherwise be unsuitable as an amenity space. However, this area does not need to be included as part of the overall calculations for the proposed amenity spaces to satisfy the requirements of the Council's Supplementary Planning Document (SPD) titled Hillingdon Design and Access Statement: Residential Layouts (HDAS). While a larger area would be alongside the parking, conditions could require screening to separate these areas. On this issue I find that the proposals would accord with UDP Policy BE23 which requires new residential buildings to provide sufficient external amenity space.'

While the Inspector did raise some concerns with regard to security (discussed under the relevant section of this report), these related solely to the car parking area, and no concerns were raised as to the adequacy of natural surveillance or the security in general of the communal amenity spaces provided.

The appeal decision represents a material consideration in determining the current application and the layout and quality of amenity spaces is consistent with that considered acceptable by the Inspector and in terms of quantum exceeds the standards set out within the HDAS - Residential Layouts. The reduction in the number of units also means that the proposal is no longer reliant on an undercroft barbecue area which is considered to be beneficial. Accordingly, it is considered that the proposal would provide an adequate quality and quantity of external amenity space to secure the amenity of future occupiers in accordance with Policy BE23 of the Saved Policies UDP.

The HDAS - Residential Layout sets out minimum size standards for residential units,

these being 50sq.m for a one bedroom units, 63sq.m for a two bedroom units and 77sq.m for three bedroom units. All of the units within the proposed scheme comply with the minimum floorspace standards set out within the HDAS - Residential Layouts, this is an improvement over the previously refused scheme where a small number of units fell below these requirements.

While the overall height of the building has been reduced by one-storey the fenestration (including winter gardens partly treated with obscured glazing and angled windows) on the rear elevation remain the same as proposed within the previous scheme, under which the arrangements were considered to secure an appropriate internal environment for future occupiers in terms of light, outlook and privacy.

It is noted that no. 2 Drayton Gardens has recently been the subject to a two storey rear extension, the impact of which was considered under the previous application and appeal. The windows within the closest of the proposed units to 2 Drayton Gardens are angled away from this property and as such the proposed properties would retain adequate levels of outlook and privacy.

It is considered that all of the units within the proposed development would benefit from adequate levels of outlook, daylight and privacy and accordingly no objection is raised to the proposal in terms of Policies BE19, BE20, BE21 and BE24 of the Saved Policies UDP.

Overall, and having regard to Secretary of State's appeal decision, it is considered that the proposed development would result in an appropriate residential environment for future occupiers. No objection is therefore raised in this regard.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The previous application 2954/APP/2009/1488 was not refused on grounds relating to highways matters.

A total of 35 residential parking spaces are provided within an undercroft car park to serve the 35 residential units, a ratio of 1:1. This ratio of car parking provision for residential units on the site is the same as that which was proposed under the previous application and is considered acceptable on highways grounds.

4 of the proposed parking spaces are designed to wheelchair standard and are located appropriately within the undercroft car park. This level of provision represents 10% of the total parking spaces in accordance with the requirements of the Council's Parking Standards. Accordingly, the level of disabled parking is considered acceptable.

The Council's Highways Engineer has reviewed the layout of the development and parking proposals in detail and considers the scheme to be acceptable in terms of highway/pedestrian safety and car parking provision.

7.11 Urban design, access and security

Issues of design and access are addressed elsewhere in this report.

In relation to security issues the Inspector considered crime as part of the appeal, and did raise concerns, albeit limited to the appropriateness of the car parking area, finding that:

'The ground floor parking area would be contiguous with the area towards the rear designated for use for barbecues. From most angles the parking area would be screened and enclosed and conditions could require this to include the vehicular access. On the other hand, I note that there would be 43 flats and so presumably a controlled access

would still entitle 43 households to enter the site. Even disregarding the likely adverse impact on the street scene from a gated access, in my view the number of residents and their associates would allow a high degree of access to the parking area. There would only be two flats on the ground floor and neither would have windows onto the car park. Given the extent of access and the lack of supervision from adjacent flats, I consider that the parking area would be likely to attract criminal activity. For these reasons I find that the proposals would be poorly designed with regard to the need to minimise crime. The proposals would therefore conflict with the design principles in the adopted HDAS which aims to 'design out crime.'

In order to address this concern the applicant has reduced the density of the application, thereby reducing the number of residents with access to the car park, and entered into correspondence with the Metropolitan Police Crime Prevention Design Adviser. While, by virtue of the site constraints it has not been possible to introduce natural surveillance of the car parking area the applicant has now proposed an extensive closed circuit surveillance system within the undercroft car park in order to improve security. The applicant has also committed to ensuring that the vehicular access to the car parking area is gated and secured and the plans demonstrate that the car parking area in its entirety would be secured and access controlled. The final details of these measures could be adequately secured by way of conditions.

The applicant has taken into account the comments of the Metropolitan Police Crime Prevention Design Adviser who is satisfied that, subject to the provision of closed circuit surveillance and appropriate access control, the car parking areas would benefit from an appropriate level of security and that subject to a condition requiring the development to achieve Secured by Design accreditation the development as a whole would provide for a secure environment.

Subject to appropriate conditions it is considered that the application has overcome the concerns raised by the Inspector and accordingly no objection is therefore raised in terms of security.

7.12 Disabled access

In assessing this application, reference has been made to the London Plan Policy 3A.5 (Housing Choice) and the Council's Supplementary Planning Documents " Accessible Hillingdon" and Residential Layouts", adopted July 2006. Policies 4B.1 and 4B.5 of the London Plan also require developments to provide for inclusive environments.

The scheme indicates that all units are proposed to be built to Lifetime Homes standards, 4 units (10%) would be fully wheelchair accessible, 4 disabled car parking spaces would be provided and two lifts would be provided to allow access to all floors of the development.

The scheme has been amended in order to address all but one of the issues raised by the Council's Access Officer, this issue relates to the internal layout of of bathrooms within the units and could be adequately addressed by way of condition.

Subject to conditions ensuring that the accessibility measures are implemented and amended bathroom layouts provided the development proposal would satisfy both Lifetime Home and Wheelchair Home Standards and is considered to comply with Policies 3A.5, 4B.1, 4B.5 of the London Plan and the Council's Supplementary Planning Guidance.

7.13 Provision of affordable & special needs housing

The Council's Housing Section has advised that a contribution of 50% of the development

as affordable housing in accordance with the Council's Affordable Housing Supplementary Planning Document. However, the developer has proposed no affordable housing provision on site and as such Housing Services Department object to the current proposal.

Policy 3A.9 of the London Plan advises that Boroughs should seek the maximum reasonable amount of affordable housing when negotiating on individual private residential and mixed-use schemes, having regard to their affordable housing targets adopted in line with Policy 3A.9, the need to encourage rather than restrain residential development and the individual circumstances of the site. Targets should be applied flexibly, taking account of individual site costs, the availability of public subsidy and other scheme requirements.

The policy subtext further confirms that 'The Mayor wishes to encourage, not restrain residential development and boroughs should take a reasonable and flexible approach on a site-by-site basis....'

The Council's Affordable Housing SPD further advises that in circumstances where a proposed development does not propose to meet the affordable housing requirements a financial viability assessment will be required. Furthermore, if the results of a financial viability appraisal confirm that the affordable housing requirement cannot be provided as per LDF and London Plan policies, the Council will apply a cascade approach by which the Council will agree dependent upon the site specifics and local circumstances to either:

*Alter the tenure split requirement; and/or

*Reduce the affordable housing requirement.

The applicant has submitted a Financial Viability Assessment which demonstrates that the development is able to incorporate a maximum of 3 x one bedroom units and 3 x two bedroom units as affordable housing (equivalent to 17% of the total units), this assessment has been validated as accurate by an independent expert employed by the Council.

On the basis of the submitted Financial Viability Assessment, and in accordance with the London Plan and the Council's Planning Obligations SPD, the scheme would provide the maximum possible level of affordable housing. It should be noted that the lack of affordable housing provision does enable the development to meet all other planning obligation requirements set out within the 'Planning Obligations' section of this report.

Subject to a S106 agreement being formalised to secure the provision of the above mentioned level of affordable housing the development would comply with the provisions of the London Plan and the Council's Planning Obligations SPD. The applicant has agreed the level of provision and the principle of entering such an agreement.

7.14 Trees, landscaping and Ecology

The application is supported by an arboricultural assessment addressing the proposed development and a tree protection plan. The report confirms that there are no trees on the site, but there is a group of trees (off-site) close to the southern boundary of the site, which includes one significant tree, a Sycamore (tree 5), in the group. Tree 5 affords some screening of the site and is a constraint on its development.

The arboricultural assessment is tailored to the development proposals and details methods which could be utilised in order to ensure the retention off-site trees, in particular the sycamore, and is supported by a tree protection plan.

Having regard to this information the Council's Trees and Landscaping Officer considers that the retention of three off-site trees, particularly the sycamore, would be feasible alongside the development proposal and could be ensured by condition.

The fifth reason for refusal on the previous application (Reference: 2954/APP/2009/1488) was that 'The development fails to reserve appropriate space on the road frontage to enable the establishment of tree planting which would be of an appropriate scale alongside the proposed building. Without the provision of appropriate tree planting the development as a whole would fail to achieve an appropriate appearance within the street scene contrary to policies BE13, BE19 and BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).'

The Local Planning Authorities refusal of this previous application has subsequently been the subject of an appeal (Reference: APP/R5510/A/10/220328) under which the Inspector commented that 'The street elevation would include a number of trees which might further break up and soften the facade. The trees would be narrow specimens to fit into the limited space behind the footway and minimise the likelihood that they would block light to windows. The Council has argued that there would be inadequate space for these trees. I accept that the trees might either be unsuccessful or that, if they did grow well, they might lead to requests for pruning which would lessen their effect. Nonetheless, I saw few appreciable areas of planting in front of nearby buildings and conclude that, while important as part of the elevational composition, lack of significant planting would not in itself harm the character or appearance of the street scene.'

The Inspector's decision represents a material consideration and the Council's Trees and Landscape Officer considers that in light of the appeal decision no objection can be raised to the amount of space available for planting on the site frontage and that other aspects of the site's external layout would be capable of providing an appropriate environment in terms of landscaping.

Subject to conditions to ensure that opportunities for feasible landscaping are maximised no objection is raised to the scheme in relation to Policy BE38 of the Saved Policies UDP.

7.15 Sustainable waste management

The scheme is to be supported by a communal bin storage facility which identifies 6 x 1,100 litre bins to service the 35 residential units. This level of provision is considered to be adequate to serve a development of this size and could be appropriately allocated to provide for waste and recycling needs.

The bin storage area would be within the undercroft car park, it would be easily accessible via an internal route for all of the proposed residential units and is located so that it could be easily serviced by refuse vehicles.

Accordingly, the proposal is considered to make adequate provision for the storage and management of waste and recycling within the development.

7.16 Renewable energy / Sustainability

Policy 4A.7 of the London Plan advises that boroughs should ensure that developments will achieve a reduction in carbon dioxide emissions of 20% from on site renewable energy generation (which can include sources of decentralised renewable energy) unless it can be demonstrated that such provision is not feasible.

Policy 4A.4 of the London Plan requires submission of an assessment of the energy demand and carbon dioxide emissions from proposed major developments, which

should demonstrate the expected energy and carbon dioxide emission savings from the energy efficiency and renewable energy measures incorporated in the development.

The application is supported by an Energy Statement prepared by Quinn Ross Consultants Ltd, which indicates that the development can meet the Mayor's renewable targets by adopting solar collectors, achieving a 20% reduction in carbon dioxide emissions through renewable technology.

Subject to conditions to secure the installation of measures in accordance with the London Plan requirements the scheme complies with London Plan Policies 4A.3, 4A.4 and 4A.7.

7.17 Flooding or Drainage Issues

The site is not within a flood zone, and no other drainage issues have arisen.

7.18 Noise or Air Quality Issues

NOISE

An acoustic report has been submitted as a part of the application. The study was prompted due to the proximity of busy roads adjoining the site. The assessment states that the facades of the residential buildings will be within NEC B to the rear and NEC C to the front close to the road.

Residential development within NEC C is acceptable so long as conditions can be imposed which would ensure a commensurate level of protection against noise.

The Council's Environmental Protection Unit have reviewed the proposal and subject to the imposition of conditions to protect the development from Road Noise and have raised no objection.

AIR QUALITY

The application has been supported by an air quality assessment which indicates the proposed would not result in an increase in nitrogen dioxide levels. The Council's Environmental Protection Unit have reviewed the report and raise no objections on the grounds of air quality.

Given that the proposal would bring new residents into an area of poor existing air quality a condition requiring details of mitigation measures to protect the internal environment for future occupiers would be recommended should the scheme be approved.

7.19 Comments on Public Consultations

It is considered that the following objections to the scheme have been addressed through out the report and by way of condition, where appropriate:

- (i) Construction impacts;
- (ii) Traffic and congestion implications;
- (iv) Loss of privacy;
- (vi) Adequacy of proposed parking arrangements; and
- (vii) Adequacy of infrastructure (schools, healthcare etc.).

In relation to point (iii) Thames Water have raised no objections to the scheme and it is not considered that the proposal would place undue pressure on local water or sewerage systems.

In relation to point (v) landscaping would be controlled by condition and would be considered by the Council's Trees and Landscaping Officer prior to approval.

7.20 Planning obligations

Policy R17 of the Unitary Development Plan states that: 'The Local Planning Authority will, where appropriate, seek to supplement the provision of recreation open space, facilities to support arts, culture and entertainment activities and other community, social and education facilities through planning obligations in conjunction with other development proposals'.

Affordable Housing is address separately under the relevant section.

The Council's S106 Officer has advised that the proposed development of 43 residential units would necessitate the following contributions in line with the Council's Supplementary Planning document for Planning Obligations:

Education: a contribution in the sum of £102,323;

Health: a contribution in the sum of £13,682.71;

Community facilities: a contribution in the sum of £30,000;

Town centre: a contribution in the sum of £20,000;

Libraries: a contribution in the sum of £1,452.45;

Construction Training: either a contribution in accordance with the adopted formula or in-kind; and

Project Management and Monitoring fee: 5% of total cash contributions.

The applicant has agreed to the principle of these planning obligations, all of which can be achieved alongside the proposed level of affordable housing. Subject to an appropriate legal agreement being secured the scheme would accord with Policy R17 of the UDP.

7.21 Expediency of enforcement action

Not applicable.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

10. CONCLUSION

Full planning permission is sought for the redevelopment of the site for a residential development comprising of 35 residential units associated amenity space and parking.

The proposed development is acceptable in principle and the density of development accords with the recommendations of the London Plan.

The site has an extensive planning history, including a recent appeal decision.

Having regard to the Inspector's decision on the previous application it is considered that the proposal would attain an acceptable appearance within the street scene, would not have a detrimental impact on neighbouring occupiers and would provide an appropriate residential environment for future occupiers.

The proposal is considered acceptable in terms of parking provision and highways impacts.

Subject to conditions an appropriate level of sustainable design could be achieved.

The proposal would provide 3 x one-bedroom and 3 x two-bedroom units as affordable housing. This level of provision has been fully justified by way of a Financial Viability Assessment as the maximum level which the development can viably provide. The applicant has also agreed to meet all other necessary planning obligations by way of a legal agreement.

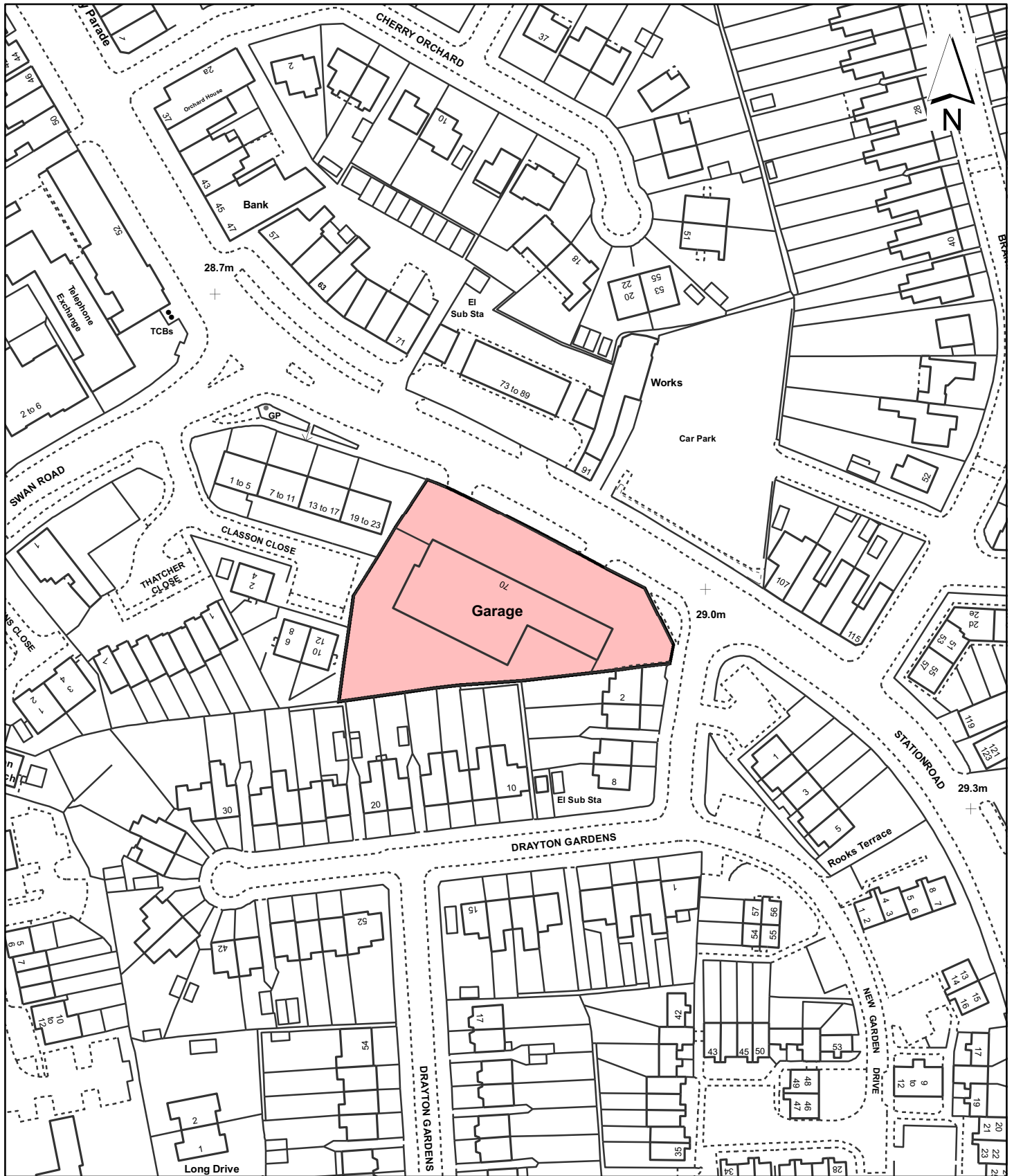
Subject to a S106 agreement and conditions, the application is recommended for approval.

11. Reference Documents

- (i) Planning Policy Statement 1 (Delivering Sustainable Development)
- (ii) Planning Policy Statement Planning and Climate Change
- (iii) Planning Policy Statement 3 (Housing)
- (iv) Planning Policy Guidance Note 13 (Transport)
- (v) The London Plan (2008)
- (vi) Hillingdon Unitary Development Plan Saved Policies September 2007.
- (vii) Hillingdon Design and Accessibility Statement - New Residential Layouts
- (viii) Accessible Hillingdon Supplementary Planning Document
- (ix) Hillingdon Supplementary Planning Document, Planning Obligations

Contact Officer: Adrien Waite

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**70 Station Road
West Drayton**

Planning Application Ref:

2954/APP/2010/1810

Planning Committee

Central and South

Scale

1:1,250

Date

**January
2011**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

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Report of the Head of Planning & Enforcement Services

Address 43 - 47 AND REAR OF 35 - 43 YEADING LANE HAYES

Development: 2 three-bedroom two storey semi-detached dwellings and 3 three-bedroom two storey terraced dwellings with amenity and parking space, involving the demolition of outbuildings to rear of existing dwelling No.47 and rear extensions from No.43 and installation of new crossover.

LBH Ref Nos: 34799/APP/2009/2800

Drawing Nos: 2498-2-105
2498-2-106
2498-2-107
2498-2-109
2498-2-101
2498-2-103 Existing Site Layout
2498-2-104 Proposed Site Layout
2498-2-T112
2498-2-T113
2498-2-T110
2498-2-T111

Date Plans Received: 23/12/2009 **Date(s) of Amendment(s):**
Date Application Valid: 18/01/2010

1. SUMMARY

The proposed development seeks full planning permission for the erection of 5 dwellinghouses, in the form of a terrace of three houses and a pair of semi detached dwellings, at the land to the rear of 35-47 Yeading Lane. An outline planning application, ref: 34799/APP/2009/2800 for a very similar scheme comprising 5 dwellinghouses was refused permission on 23/12/2009, but which has been allowed at appeal. In 1984 permission was granted for 3 residential units which has long since lapsed.

The subject application is for 5 dwellings in a layout which avoids overlooking and privacy impacts on neighbouring properties and which accords with relevant saved development plan policies. The proposed development also provides for adequate amenity space and living standards for the future occupiers of the development. The proposal would utilise a former commercial nursery site and the scale and design of the dwellings is in context with the surrounding area, therefore the proposal is recommended for approval.

2. RECOMMENDATION

Approval subject to following conditions.

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 M1 Details/Samples to be Submitted

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 OM5 Provision of Bin Stores

No development shall take place until details of facilities to be provided for the screened and secure storage of refuse and recycling bins within the site have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.

REASON

To ensure a satisfactory appearance and in the interests of the amenities of the occupiers and adjoining residents, in accordance with Policy OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 OM14 Secured by Design

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures, including security gates and fencing to the access way leading to the rear of unit 2, shall be submitted and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 4B.1 and 4B.6 of the London Plan.

6 OM19 Construction Management Plan

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

7 DRC6 Contaminated Land - survey and remedial works

Development shall not begin until a site survey to assess contamination levels has been carried out to the satisfaction of the Local Planning Authority. The survey shall be undertaken at such points and to such depth as the Local Planning Authority may stipulate. A scheme for removing or rendering innocuous all contaminants from the site shall be submitted to and approved in writing by the Local Planning Authority and all works that form part of this scheme shall be completed before any part of the development is occupied.

REASON

To ensure that the occupants of the development are not subjected to any risks from soil contamination in accordance with Policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy A.33 of the London Plan (February 2008).

8 DRC7 Contaminated land - remedial works

Development shall not begin until a scheme to deal with contamination of the site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include an investigation and assessment to identify the extent of contamination and the measures to be taken to avoid risk to the [occupants of the development /future users of the site/local environment].

REASON

To ensure that the occupants of the development are not subjected to any risks from land contamination in accordance with Policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy Policy A.33 of the

London Plan (February 2008).

9 N1 Noise-sensitive Buildings - use of specified measures

Development shall not begin until a scheme for protecting the proposed development from road traffic noise has been submitted to and approved in writing by the Local Planning Authority. All works which form part of the scheme shall be fully implemented before the development is occupied and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

REASON

To ensure that the amenity of the occupiers of the proposed development is not adversely affected by (road traffic) (rail traffic) (air traffic) (other) noise in accordance with policy OE5 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

10 SUS4 Code for Sustainable Homes details

No development shall take place until an initial design stage assessment by an accredited assessor for the Code for Sustainable Homes and an accompanying interim certificate stating that each dwelling has been designed to achieve level 3 of the Code has been submitted to, and approved in writing, by the local planning authority. No dwelling shall be occupied until it has been issued with a final Code certificate of compliance.

REASON

To ensure that the objectives of sustainable development identified in policies 4A.1 and 4A.3 of the London Plan (February 2008).

11 SUS5 Sustainable Urban Drainage

No development shall take place on site until details of the incorporation of sustainable urban drainage have been submitted to, and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed on site and thereafter permanently retained and maintained.

REASON

To ensure that surface water run off is handled as close to its source as possible in compliance with policy 4A.14 of the London Plan (February 2008) /if appropriate/ and to ensure the development does not increase the risk of flooding contrary to Policy OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), policies 4A.12 and 4A.13 of the London Plan (February 2008) and PPS25.

12 DIS5 Design to Lifetime Homes Standards

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. Further 10% of the units hereby approved shall be designed to be fully wheelchair accessible, or easily adaptable for residents who are wheelchair users, and shall include within the design of each wheelchair unit internal storage space for the storage of mobility scooters/wheelchairs and associated charging points as set out in the Council's Supplementary Planning Document 'Hillingdon Design and Accessibility Statement: Accessible Hillingdon'.

REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (February 2008) Policies 3A.5, 3A.13, 3A.17 and 4B.5.

13 H1 Traffic Arrangements - submission of details

Development shall not begin until details of all traffic arrangements (including where appropriate carriageways, footways, turning space, safety strips, sight lines at road junctions, kerb radii, car parking areas and marking out of spaces, loading facilities, closure of existing access and means of surfacing) have been submitted to and approved in writing by the Local Planning Authority. The approved development shall not be occupied until all such works have been constructed in accordance with the approved details. Thereafter, the parking areas, sight lines and loading areas must be permanently retained and used for no other purpose at any time. Disabled parking bays shall be a minimum of 4.8m long by 3.6m wide, or at least 3.0m wide where two adjacent bays may share an unloading area.

REASON

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking, and loading facilities in compliance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan . (February 2008).

14 H11A Visibility Splays

Unobstructed sight lines above a height of 1 metre shall be maintained on both sides of the entrance to the site, for a distance of at least 2.4m in both directions along the back edge of the footway or verge.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

15 H12 Closure of Existing Access

The existing vehicular access at the site, shall be closed, the dropped kerb removed and the footway reinstated to match the adjoining footway within one month of the new access hereby approved being completed.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM3 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

16 TL1 Existing Trees - Survey

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Species, position, height, condition, vigour, age-class, branch spread and stem diameter of all existing trees, shrubs and hedges on and immediately adjoining the site.
- (ii) A clear indication of trees, hedges and shrubs to be retained and removed.
- (iii) Existing and proposed site levels.

(iv) Routes of any existing or proposed underground works and overhead lines including their manner of construction.

(v) Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees and other vegetation to be retained during construction work.

REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

17 TL2 Trees to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

18 TL5 Landscaping Scheme - (full apps where details are reserved)

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure, including enclosure of the access way leading to the rear of unit 2.

- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

19 TL4 Landscaping Scheme (outline application)

The development hereby permitted shall be landscaped and planted in accordance with a fully detailed scheme to be submitted to and approved in writing by the Local Planning Authority as part of the details of the proposed development required by condition No. *

The scheme shall include:-

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following:-

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

20 TL6 Landscaping Scheme - implementation

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period.

The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'

and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

21 TL7 Maintenance of Landscaped Areas

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

REASON

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

22 TL20 Amenity Areas (Residential Developments)

None of the dwellings hereby permitted shall be occupied, until the outdoor amenity area serving the dwellings as shown on the approved plans (including balconies where these are shown to be provided) has been made available for the use of residents of the development. Thereafter, the amenity areas shall so be retained.

REASON

To ensure the continued availability of external amenity space for residents of the development, in the interests of their amenity and the character of the area in accordance with policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policy 4B.1.

23 OM2 Levels

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

24 M5 Means of Enclosure - details

Before the development is commenced, details of boundary fencing or other means of enclosure shall be submitted to and approved in writing by the Local Planning Authority. The approved means of enclosure shall be erected before the development is occupied and shall be permanently retained thereafter.

REASON

To safeguard privacy to adjoining properties in accordance with Policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

25 OM20 Grampian Planning Obligations

Before the development hereby permitted is commenced, a scheme shall be submitted to, and approved in writing by, the Local Planning Authority detailing how additional or improved educational facilities in the vicinity of the site arising from the needs of the proposed development will be provided. The approved means and timescale of providing the proposed improvements shall then be implemented in accordance with the agreed scheme.

REASON

To ensure the development provides an appropriate contribution to the improvement of /insert appropriate/ within the surrounding area, arising from the proposed development, in accordance with Policy R17 of the adopted Hillingdon Unitary Development Plan and the Council's Planning Obligations Supplementary Planning Document.

26 NONSC Accessway security measures

Prior to the commencement of development a scheme to ensure the access way leading to the rear of Unit 2 is maintained and kept secure shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the development shall be carried out in accordance with the approved scheme and the access way secured and maintained for the life of the development.

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 4B.1 and 4B.6 of the London Plan.

27 RPD5 Restrictions on Erection of Extensions and Outbuildings

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no extension to any dwellinghouse(s) nor any garage(s), shed(s) or other outbuilding(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

REASON

So that the Local Planning Authority can ensure that any such development would not result in a significant loss of residential amenity in accordance with policy BE21 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

28 RPD1 No Additional Windows or Doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved at first floor level or above.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

AM14	New development and car parking standards.
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H12	Tandem development of backland in residential areas
H5	Dwellings suitable for large families
H4	Mix of housing units
OE1	Protection of the character and amenities of surrounding properties and the local area

OE5	Siting of noise-sensitive developments
HDAS	'Residential Developments'
PPS3	Housing
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities

3 11 Building to Approved Drawing

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 119 Sewerage Connections, Water Pollution etc.

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE. Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

5 12 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

6 13 Building Regulations - Demolition and Building Works

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

7 14 Neighbourly Consideration - include on all residential exts

You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).

8 15 Party Walls

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

carry out work to an existing party wall;

build on the boundary with a neighbouring property;

in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

9 16 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

10 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

11 123A Re-instatement of a Vehicle Access.

You are advised by London Borough of Hillingdon, Highways Management, that any works on the Highway, in relation to the reinstatement of any existing vehicle access, must be carried out with approval from the Highway Authority. Failure to reinstate an existing vehicle access will result in the Highway Authority completing the works, and the developer may be responsible for the costs incurred. Enquiries should be addressed to: Highways Maintenance, 4W/07, Civic Centre, Uxbridge, UB8 1UW.

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The applicant is encouraged to discuss with Council officers in conjunction with the Metropolitan Police Crime Prevention Officer whether on site CCTV cameras can be linked to the Councils central CCTV system.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises one detached and one semi-detached two storey dwellinghouses, together with a grassed open area of land at the rear and is located on the western side of Yeading Lane. The detached house, No 43 Yeading Lane, has a rear conservatory and single storey rear extension. No. 47 Yeading Lane has also been extended with a single storey side and rear extension and various outbuildings. Both dwellings have existing parking to the front of the site. This portion of Yeading Lane is characterised by a mixture of maisonettes, bungalows, semi-detached and detached dwellings. The site lies within the 'developed area' as identified in the Hillingdon Unitary Development Plan Saved Policies (September 2007).

The application site has a Public Accessibility Transport Level of 2 (where 1 is the lowest and 6 is the highest).

3.2 Proposed Scheme

Full planning permission is sought for the erection of three two storey terraced and a pair of semi-detached three bedroom dwellinghouses, with amenity space and parking space, involving the demolition of existing outbuildings to the rear of no. 47 Yeading Lane and rear extensions to no. 43 Yeading Lane and the installation of new crossover.

The proposal would be situated to the rear of Nos. 35-47 (odd) Yeading Lane and the proposed flank walls would be located more than 18m from the nearest dwellinghouses at Yeading Lane and Bedford Avenue. For the 4 new dwellings a total of 10 car parking spaces would be provided (2 spaces per dwelling). 2 spaces for both no.43 and no.47 would be provided to the front of each of these dwellings. Each dwellinghouse would have their own private amenity space by a way of private gardens to the rear.

The scheme is an amended submission to a previously refused outline planning application ref: 34799/APP/2009/534 determined on 17/12/2009. The scheme has been amended to address the reason for refusal. The main changes include:

- i) The creation of a 'pinch point' to the section of the access way between nos. 43 and 47 Yeading Lane.
- ii) Widening of defensible space between the access way and the properties at nos. 43 and 47 Yeading Lane; including a laurel hedge and close boarded fence.
- iii) Removal of all openings in side elevations of nos. 43 and 47 Yeading Lane.
- iv) Addition of a speed bump along the access way.
- v) Reconfiguration of the layout of the terrace of 3 dwellings to allow the middle property an external access to the rear.

It should be noted however, that planning permission ref: 34799/APP/2009/534 has been allowed at Appeal by the Planning Inspector since this application was submitted to the Council, and that this is a material consideration in the assessment of the current scheme.

3.3 Relevant Planning History

Comment on Relevant Planning History

Application ref: 34799/APP/2009/534 sought outline permission for the erection of 3 two storey three-bedroom terraced dwellings and 2 two storey three-bedroom semi-detached dwellings with associated parking and bin stores and installation of new vehicular crossover, involving demolition of existing outbuildings at no.47 (Outline application for approval of access, appearance, layout and scale). The application was refused on residential amenity grounds on 17/12/2009. This application was the subject of an appeal, which was allowed.

Application with reference 34799/APP/2008/3053 was an outline application which the applicant withdrew the application prior to determination.

Application 34799/B/99/0695 was a materially different scheme to that currently under determination.

4. Planning Policies and Standards

London Plan (February 2008)

Hillingdon Unitary Development Plan Saved Policies (September 2007)

HDAS Supplementary Planning Document: Residential Layouts

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

Part 2 Policies:

AM14 New development and car parking standards.

AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity

AM7 Consideration of traffic generated by proposed developments.

BE13 New development must harmonise with the existing street scene.

BE18 Design considerations - pedestrian security and safety

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE22 Residential extensions/buildings of two or more storeys.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE38 Retention of topographical and landscape features and provision of new planting

	and landscaping in development proposals.
H12	Tandem development of backland in residential areas
H5	Dwellings suitable for large families
H4	Mix of housing units
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
HDAS	'Residential Developments'
PPS3	Housing
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

A total of 68 neighbouring occupiers/owners were initially consulted and 29 objections and 1 petition with 46 signatures. The issues raised are:-

- a) Noise and disturbance caused by future occupants of the scheme.
- b) Loss of trees and landscaping leading to a degradation of visual amenity.
- c) The road access is a 'Private Right of Way'. The proposal would increase the traffic using the access.
- d) Layout and density of building - area is being over developed.
- e) Over looking and privacy.
- f) Lack of parking/loading and turning area.
- g) Design, appearance and materials considered to be inappropriate.
- h) Traffic generation.
- i) Increase in antisocial behaviour.
- j) Parking would become unusable because it is already tight
- k) Loss of sunlight.
- l) There are enough houses in Hayes.
- m) Cramped development.
- n) Proposal for 5 houses were refused in 1999.
- o) 3 three storey and 2 two storey houses with private gardens are over development.
- p) Loss of open space.
- q) Planning condition required to ensure that there is tree protection & loss of trees.
- r) Encourages backland development.
- s) Local infrastructure (including drainage, water supply, gas, educational facilities, and health care facilities) won't cope with additional usage.
- t) There is a lack of off street parking proposed. On street parking would become under further pressure and people would park inappropriately.
- u) Increased traffic congestion.
- w) Noise, air and light pollution (caused during construction and once dwellings are occupied).
- v) Design, appearance and materials would be out of keeping with the area.

- w) Loss of outlook from existing dwellings.
- x) The site may be potentially contaminated.
- y) The access way would be too narrow for emergency vehicles to access.

CRIME PREVENTION DESIGN ADVISOR

An access way is proposed to provide access to the rear of unit 2. Such access ways are only acceptable if over very short distances and adequately maintained and secured. Relevant conditions should be imposed to address maintenance and security (namely gates).

Internal Consultees

POLICY ADVISOR

The site comprises a vacant plot and garden in a residential area. Part of the site is potentially contaminated. The key issue is the use of the site for residential purposes. There is an established need for residential accommodation. The scheme would need to comply with HDAS guidelines for room space, amenity space and impact on the amenities of adjoining properties. This is particularly pertinent due to the siting of the development and Saved Policy H12. The housing mix would appear appropriate. Whilst the proposed density would appear low for a suburban area with a PTAL of 2, at 23u/ha and 140 hr/ha (compared with an indicative standard of 150-200hr/ha and 40-80 u/ha), officers may consider that this is the maximum achievable given local circumstances and the scale of the scheme. Highways would need to be consulted. Particular attention should be made on the impact on the streetscape and character of the area.

ENVIRONMENT PROTECTION UNIT

No objections subject to planning conditions controlling noise impact and minimising risk of contamination.

LANDSCAPING & TREES

The removal of the hedge, while removing a dominant landscape feature and potential screening, will also remove the likely over-shadowing of the new development. I note that a few individual specimens are indicated to be retained on submitted plans in the rear garden of unit 3 and on the north-west boundary of the cul-de-sac.

The same layout indicates that there are areas available for soft landscape detailing (planting) within the private and shared amenity spaces, in accordance with saved policy BE38. A high quality landscape scheme, including new tree planting, should be secured through conditions. Provision for the management and maintenance of the communal areas should also be planned.

No objections to the proposal subject to conditions TL1, TL2, TL4, TL5, TL6 & TL7.

HIGHWAYS

No objections, the proposal would provide sufficient access width and appropriate turning area of refuse and larger vehicles including emergency vehicles. The proposal also provides adequate onsite parking spaces for the proposed dwellinghouse. There should be appropriately worded conditions to ensure that visibility lines are maintained, and the access road and parking areas are appropriately constructed and laid out.

EDUCATION

For the proposed development in Barnhill Ward, the requested amount towards education contribution would be £58,908.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The site is located within an established residential area and forms part of the 'developed area' as defined in the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

Key changes in the policy context, since the adoption of the UDP, includes the adoption of The London Plan, the Letter to Chief Planning Officers: Development on Garden Land dated 19/01/2010, The London Plan Interim Housing Supplementary Planning Guidance adopted April 2010, and new Planning Policy Statement 3: Housing adopted June 2010 (PPS 3).

In relation to National Policy the Letter to Chief Planning Officers clarifies that "there is no presumption that previously developed land is necessarily suitable for housing, nor that all of the curtilage should be developed" and commits to move this clarification to a more prominent position within PPS 3. It further clarifies that "the main focus of the Government's position therefore is that local authorities are best placed to develop policies and take decisions on the most suitable locations for housing and they can, if appropriate, resist development on existing gardens".

The Council provided to the Planning Inspectorate, prior to the appeal decision evidence from neighbours in relation to the historic use of the site. In allowing the appeal for planning permission ref: 34799/APP/2009/534 for the erection of 3 two storey three-bedroom terraced dwellings and 2 two storey three-bedroom semi-detached dwellings with associated parking and bin stores and installation of new vehicular crossover, involving demolition of existing outbuilding and single storey side extension at No.47 (Outline application for approval of access, appearance, layout and scale.), the inspector found that:

'Revisions to national guidance in Planning Policy Statement 3, Housing (PPS3) are a material consideration. The majority of the site is a grassed open area, apparently previously used as a nursery garden. It does not appear to fall within a residential curtilage, and there is no substantive evidence of any former use as a private residential garden. Taking into account these factors, the open grassed area falls within the PPS3 definition of previously developed land.'

The inspectors decision was informed by evidence given by neighbours to the Council in relation to the historic use of the site.

However, based on the evidence neighbouring occupiers have provided to the Council, and also from Officers site visits, it would appear that the historic Commercial Nursery use as well the private 'garden' use of the land have both been abandoned. Council officers do consider the commercial use to be 'abandoned'. If the land is abandoned it has no lawful commercial use (re: If the owner wished to re-commence the former commercial use officers would consider that planning permission was required).

PPS 3 advises that previously-developed land excludes 'land that was previously-developed but where the remains of the permanent structure or fixed surface structure have blended into the landscape in the process of time (to the extent that it can reasonably be considered as part of the natural surroundings)'.

As such the land is not considered to be previously developed land as defined in PPS3.

The changes to PPS3 have only altered the definition of 'previously developed land' to exclude private residential gardens. PPS does not state that development on previously undeveloped land, including back gardens, will never be acceptable. The alteration to the definition of 'previously developed land' means that Local Planning Authorities must consider all other relevant material planning considerations in greater detail to assess whether or not such considerations outweigh the loss of the private residential garden.

Furthermore, paragraph 41 of PPS3 states that 'The National annual target is that at least 60% of new housing should be provided on previously developed land'. It therefore follows that the remainder of new housing has to be provided on previously undeveloped land. Again, PPS3 does not state that housing development on previously undeveloped land cannot be allowed. The outcome of these changes means that Council's will have to assess all material planning considerations more closely and make decisions on a case by case basis.

The site comprises an open area of land, a former commercial nursery, as well as a small part of the rear garden of No. 47 Yeading Lane. The proposed buildings will be erected within the curtilage of what is currently the open land, with the portion of the site currently forming part of the rear garden of no. 47 remaining as garden area for the proposed semi detached dwellings. Given this, whilst the rear garden of no. 47 has been subdivided, it will remain as private amenity space (or garden area), so there is no loss of residential private amenity space. As such the scheme accords with Policies 3A.3, 4B.1 and 4B.8 of the London Plan, guidance within The London Plan Interim Housing Supplementary Planning Guidance and Planning Policy Statement 3: Housing.

7.02 Density of the proposed development

Policy 3A.3 of the London Plan advises that Boroughs should ensure that development proposals achieve the highest possible intensity of use compatible with the local context and the site's public transport accessibility. The London Plan provides a density matrix to establish a strategic framework for appropriate densities at different locations.

Table 3A.2 recommends that developments of dwellinghouses on suburban residential sites with a PTAL score of 2 should be within the ranges of 35-65u/ha and 150-250u/ha. The proposed density for the site is 23u/ha or 140hr/ha which would be in the lower or below London Plan thresholds. Whilst the proposed density would be below the recommended threshold by London Plan, the proposed density is considered to be acceptable having regard to the housing type and the character of the surrounding area. Accordingly, no objection is raised to the proposal in respect to the density being below that recommended in the London Plan.

Policies H4 and H5 seek to ensure a practicable mix of housing units are provided within residential schemes. One and two bedroom developments are encouraged within town centres, while larger family units are promoted elsewhere, according to the local needs.

The proposal provides 5 x three bedroom houses. The proposed housing is considered appropriate to the character of the surrounding area, which comprises maisonette flats, bungalows, semi-detached and detached houses. It is therefore considered that the development provides an acceptable dwelling mix in compliance with Policies H4 and H5 of the Hillingdon UDP Saved Policies (September 2007) and the London Plan (February 2008).

No objection was raised by the Planning Inspector in relation to density and there is no

difference between the current scheme and that approved at appeal.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable.

7.04 Airport safeguarding

Not applicable.

7.05 Impact on the green belt

Not applicable.

7.07 Impact on the character & appearance of the area

Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies September 2007 highlights the importance of designing new development to harmonise with the existing streetscene while Policy BE19 seeks to ensure that new development within residential areas complements or improves the amenity and character of the area. Policy BE22 seeks to ensure that all buildings of two or more storeys of the height are setback a minimum of 1m from the side boundaries.

Planning Policy Statement 1 (PPS1) and London Plan state that the appropriate density of development depends on a balance between the full and effective use of available housing land and the following important considerations; the quality of the housing layout and design, its compatibility within the density, form and spacing surrounding development and the location, configuration and characteristics of the site.

The principle visual impact of the development when viewed from Yeading Lane would be minimal as the proposed dwellings would be sited over 50m from the road, set behind Nos. 35 to 47 (odd) Yeading Lane. Furthermore, the proposed semi-detached and terraced dwellings would maintain a minimum 1m set-in from the side boundaries. It is considered that the development would not intrude in the streetscene given its siting, would maintain adequate gaps to break up the built form and would be of similar bulk and scale to neighbouring properties. Overall, the development is considered to have an appropriate appearance that would respect and harmonise with the existing character of the streetscene.

The current scheme is considered to be almost identical in appearance to the scheme allowed at appeal.

7.08 Impact on neighbours

The proposed houses would be sited over 18m from surrounding properties so that they would not result in a loss of residential amenity to the occupiers of these properties by reason of loss of sunlight or appear unduly dominant. The Council's Hillingdon Design and Access Statement (HDAS) Supplementary Planning Document (SPD) 'Residential Layouts' also state that the distance provided will be dependant on the bulk and size of the building, but generally, 15m will be the minimum acceptable distance. As such, the proposal would comply with Policies BE20 and BE21 of the adopted Unitary Development Plan (Saved Policies, September 2007).

Given the limited number of dwellings and anticipated trip generation, it is not considered that vehicles accessing the site would cause such noise or air quality issues so as to harm residential amenity of near by occupiers. Nor is it considered that the scheme would cause harm to amenity through light spillage.

There is an existing right of way between 43 and 47 Yeading Lane. This provides access

to the rear of a number of properties. Whilst it acknowledged that there will be an increase in traffic along this access way resulting from the development it is considered that it would not unacceptably increase noise or cause unacceptable air quality issues for occupiers of these dwellings. It is considered that the applicant has adequately addressed the reason for refusal by employing the following measures in the amended design:

i) Creation of a pinch point, adjacent to nos. 43 and 47 Yeading Lane, in the access way. This serves to narrow the width of the access way, create a one way traffic route at the level of the dwellings to slow down traffic and to create defensible space between the existing dwellings.

ii) Addition of a hedge and 1.2m high close boarded fence, positioned approximately 1.1m from the flank wall of both 43 and 47 Yeading Lane. This has resulted in defensible space and an acoustic/visual barrier at ground floor level.

iii) All of the ground and first floor flank wall windows on nos. 43 and 47 Yeading Lane will be bricked up. This will reduce the level of noise disturbance to these properties. It should be noted that whilst some habitable room windows are among those to be bricked, they are all secondary windows, as a result of which it is considered that the level of light and outlook afforded to these existing properties will not be compromised significantly.

It is considered that these measures have, on balance, addressed the previous reasons for refusal and that, on balance, the scheme would not result in such a demonstrable increase in traffic movements, levels of noise, fumes or overlooking of the residential dwellings, as to result in harm to the amenity of occupiers of 43 and 47 Yeading Lane.

Policy BE24 states that the development should be designed to protect the privacy of future occupiers and their neighbours. HDAS SPD 'Residential Layout' also provides further guidance in respect of privacy, stating in particular that the distance between habitable room windows should not be less than 21m. The proposed houses would be sited on 90 degree angle to the surrounding properties so that there would be no facing habitable room windows and therefore would have direct outlook to adjoining houses. The proposed dwellinghouses would also maintain the 21m minimum facing habitable room window distance and therefore there would not be any significant impact of overlooking and privacy between the future occupiers of the proposed development.

The current scheme is considered to be almost identical in appearance to the scheme allowed at appeal. No objection is raised in terms of impact to neighbours.

7.09 Living conditions for future occupiers

HDAS SPD 'Residential Layouts' specifies minimum internal floorspace standards of 81sq.m for a three bedroom houses. The proposed development would provide internal areas of approximately 114sq.m plus for each dwellinghouse and therefore the proposed dwellinghouses would provide an adequate standard of residential amenity for future occupiers.

Policy BE23 of the Unitary Development Plan requires the provision of external amenity space which is sufficient to protect the amenity of the development and surrounding buildings, and which is usable in terms of their shape and siting. In addition, the HDAS SPD 'Residential Layouts' seeks to ensure that an adequate amount of conveniently located amenity space is provided in new residential development with a suggested minimum provision of 60sq.m for two and three bedroom houses.

The proposed scheme would adequately provide more than 60sq.m of private amenity space for each proposed dwellinghouse and retain more than the minimum requirement for the existing dwellinghouses at Nos 43 and 47 Yeading Lane. The proposal would therefore provide appropriate living conditions for the existing and future occupiers. The proposal therefore accords with the Policy BE23 of the Hillingdon Unitary Development Plan Saved Policies 2007.

The proposed houses would also provide Lifetime Homes standards in accordance with Policy 3A.5 of the London Plan and the Council's HDAS 'Accessible Hillingdon'.

The scheme is almost identical to that already allowed at appeal, as such no objection is raised in terms of living conditions for future occupiers.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policies AM2, AM7 and AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) are concerned with traffic generation, road capacity, on-site parking and access to public transport.

The Council's Highway Engineer has stated that 2 spaces on-site for each proposed dwellinghouses would satisfy the Council's Parking Standards. All parking spaces and manoeuvring areas on the proposed plans meet the Council's minimum requirements. The amended scheme's proposed access is 3.0m wide at it's narrowest in the pinch point, with an additional 1.2m for pedestrian access. The proposed width together with the proposed turning area would allow for refuse and emergency vehicles to enter and exit the site in a forward gear. The applicant has demonstrated through swept path diagrams that the proposed turning area would be adequate. This area would need to be marked 'no parking' or 'keep clear', therefore an appropriate worded condition would ensure the turning area is unimpeded at all times.

The Council's Highway Engineer has raised no objection to the design and location of entrance/exit to the site from Yeading Lane.

It is considered that the proposal complies with Policies AM7 and AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

It is worth noting that the same ratio of parking was considered acceptable by the appeal inspector on an almost identical scheme.

7.11 Urban design, access and security

An access way is proposed to provide access to the rear of unit 2. The scheme was referred to the Metropolitan Police Crime Prevention Design Advisor who advised that such access ways are only acceptable if over very short distances and adequately maintained and secured. Relevant conditions are recommended to address this issue.

7.12 Disabled access

The proposed houses would also provide Lifetime Homes standards in accordance with Policy 3A.5 of the London Plan and the Council's HDAS 'Accessible Hillingdon'.

7.13 Provision of affordable & special needs housing

No affordable housing provision is sought from the proposed development.

7.14 Trees, landscaping and Ecology

The Council's Tree and Landscape officer has indicated that the proposed removal of the

high conifer hedge could reduce over-shadowing but will nonetheless reduce screening. However, given that there would be areas available for soft landscaping and planting within the private and shared amenity spaces, the proposal would be in accordance with BE38 of the Unitary Development Plan Saved Policies 2007.

In addition neighbours have raised concerns about the removal of trees on site. The Council's Trees Officer has been out on site following resident concerns. The Tree Officer has advised that none of the trees on site were subject to Tree Preservation Orders. Furthermore the site does not fall within a Conservation Area.

7.15 Sustainable waste management

Each dwellinghouse would provide appropriate refuse and recycling provision within the curtilage. An appropriately worded condition will ensure that these facilities are constructed and retained throughout the lifetime of the development.

7.16 Renewable energy / Sustainability

The proposal development does not include any renewable technologies. However an appropriately worded condition will ensure that each dwelling is designed to achieve Code Level 3 for Code for Sustainable Homes to ensure that the proposed development is in line with the objectives of sustainable development identified in policies 4A.1 and 4A.3 of the London Plan (February 2008).

7.17 Flooding or Drainage Issues

There are no flooding issues relating to the site. An appropriately worded condition would ensure that details of the incorporation of sustainable urban drainage has to be implemented on site to ensure that surface water run off is handled as close to its source as possible.

7.18 Noise or Air Quality Issues

This has been discussed in other sections of the report. It is not considered that the scheme would result in an unacceptable increase in noise or worsen air quality.

7.19 Comments on Public Consultations

The issue of access for emergency vehicles has been discussed with the Council's Highway Engineer who does not object to the scheme.

There is no evidence to suggest that the proposals would result in anti social behaviour.

The other matters raised in submissions have either been addressed in the body of the report or through the imposition of relevant conditions to address concerns.

7.20 Planning obligations

Policy R17 of the UDP states that the Local Planning Authority will, where appropriate, seek to supplement the provision of recreation open space, facilities to support arts, culture and entertainment activities and other community, social and education facilities through planning obligations in conjunction with other development proposals. The Director of Education has advised that a contribution of £58,908 towards school places is required. This can be secured by an appropriate planning condition.

7.21 Expediency of enforcement action

Not applicable.

7.22 Other Issues

No other issues.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

10. CONCLUSION

The amended scheme would provide for additional residential accommodation in accordance with current housing objectives. The proposal is now considered to be acceptable with regard to highway safety and the proposals for car and cycle parking are in accordance with the Council's Standards. The scheme would provide an appropriate residential environment for future occupiers in terms of all requirements set out within the Hillingdon Design and Accessibility Statement while maintaining an appropriate environment for neighbouring occupiers.

Furthermore the previously refused scheme ref: 34799/APP/2009/534 has been allowed at appeal, which is a material consideration. The current scheme addresses the previous refusal reasons and it is considered results in a better scheme than that approved at Appeal.

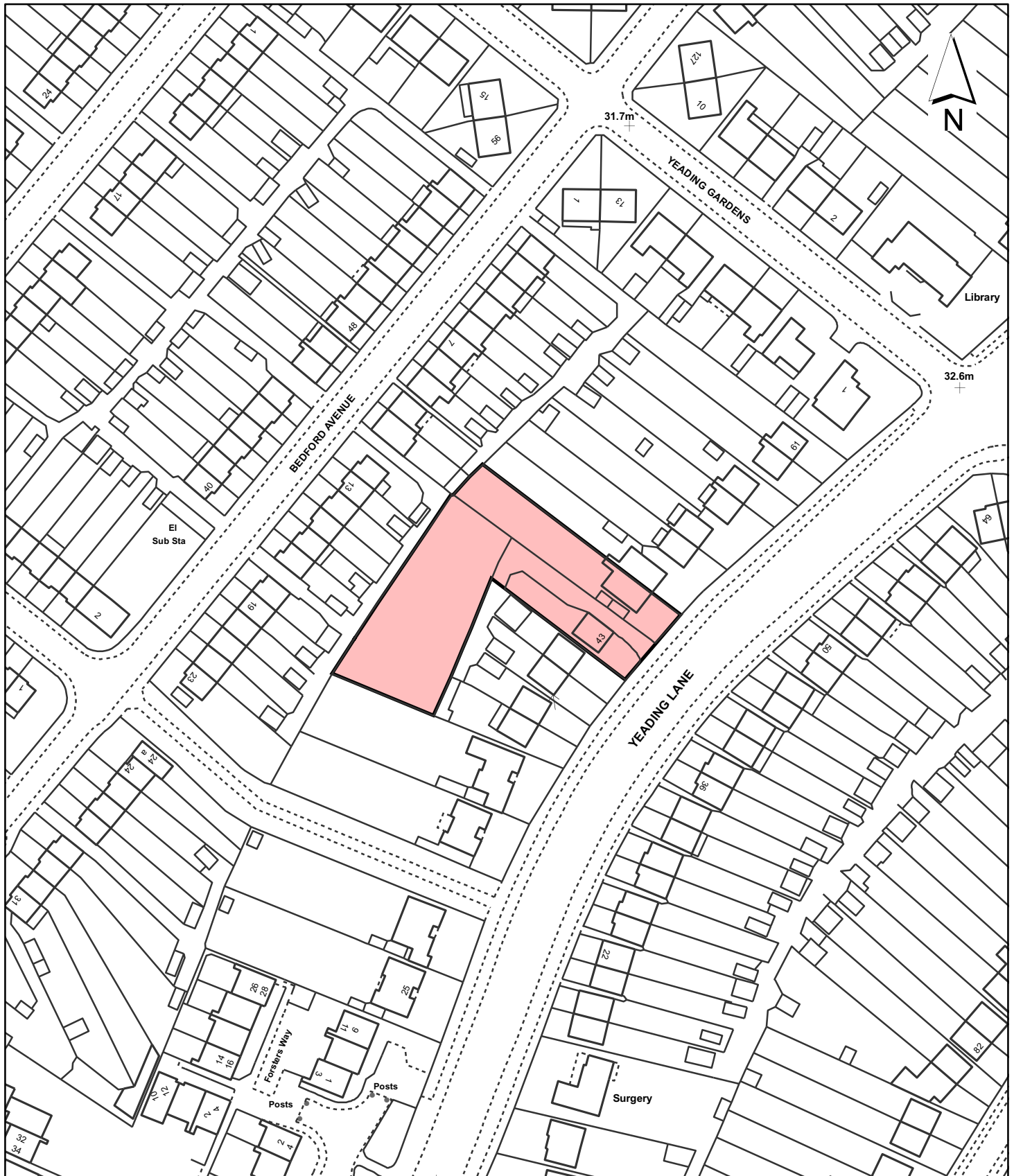
The proposal accords with all relevant saved policies within the Unitary Development Plan and the London Plan, and accordingly the proposal is recommended for approval, subject to conditions.

11. Reference Documents


Hillingdon Unitary Development Plan Saved Policies September 2007
London Plan February 2008
Hillingdon Accessibility Design Statement SPD 'Residential Layouts'
Hillingdon Accessibility Design Statement SPD 'Accessible Hillingdon'

Contact Officer: Matt Kolaszewski

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**43 - 47 and rear of
35 - 43 Yeading Lane
Hayes**

Planning Application Ref:

34799/APP/2009/2800

Planning Committee

Central and South

Scale

1:1,250

Date

August 2010

**LONDON BOROUGH
OF HILLINGDON
Planning &
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

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Report of the Head of Planning & Enforcement Services

Address 51 CHILTERN VIEW ROAD UXBRIDGE

Development: Change of use from Class A4 (Drinking Establishment) to Class C3 (Residential Units) for use as 2 one-bedroom and 1 two-bedroom, two storey terraced dwellings with associated parking and amenity space, including a two storey rear extension, alterations to existing front and side elevations, repositioning of vehicular access to side and alterations to existing vehicular crossover to front with demolition of existing single storey rear extensions and outbuildings to rear.

LBH Ref Nos: 64176/APP/2010/2097

Drawing Nos: Drawing 11 - Roof Plan and Planting/Hardstanding Plan OPTION 1
Drawing 3 - Existing Floor Plans
Drawing 7a - Existing and Proposed Side Elevation from Number 47
Drawing 10 - Ordnance Survey and Photograph
Drawing 2 - Photographs
Drawing 6 - Existing Elevations
Drawing 1 - Location Plans
Energy Performance Certificate
Drawing 4a - Perspective Drawings OPTION 1
Drawing 8a - Proposed Elevations
Design and Access Statement
Plant Material Treatment
Drawing 9 - Photographs
Drawing 14 - Crossover Block Plan
Drawing 12a - Sections
Drawing 5c - Proposed Site Plan and and Floor Plans OPTION 1
Correspondence from Michael Oakes dated 23rd November 2010
Drawing 50 - Proposed Site Plan and and Floor Plans OPTION 2
Drawing 51 -
Roof Plan and Planting/Hardstanding Plan OPTION 2
Drawing 52 - Perspective Drawings OPTION 2

Date Plans Received:	07/09/2010	Date(s) of Amendment(s):	12/01/2010
Date Application Valid:	14/09/2010		07/09/2010
			14/09/2010
			24/11/2010

1. SUMMARY

The application seeks the change of use from Class A4 (Drinking Establishment) to Class C3 (Residential Units) for use as 2 one-bedroom and 1 two-bedroom, two storey terraced dwellings with associated parking and amenity space, including a two storey rear extension, alterations to existing front and side elevations, repositioning of vehicular access to side and alterations to existing vehicular crossover to front with demolition of existing single storey rear extensions and outbuildings to rear.

The proposed extensions are considered subordinate in appearance to the existing building. The proposal as a whole is considered to represent a positive approach to redevelopment of the site which would harmonise with the character of the Conservation Area.

The proposal is considered to provide an appropriate living environment for future occupiers and an attractive landscape environment. The proposal also includes an acceptable level of inclusive design.

Subject to conditions ensuring the reinstatement of on-street parking on Whitehall Road the proposal is acceptable in terms of car parking provision, cycle parking provision, highway and pedestrian safety.

Overall, the proposal is considered to represent a positive approach to redevelopment of the site balancing the retention of the existing building against other material considerations. The application is therefore recommended for approval subject to conditions.

2. RECOMMENDATION

APPROVAL subject to the following:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE4, BE13 and BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 M1 Details/Samples to be Submitted

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policies BE4 and BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 M5 Means of Enclosure - details

Before the development is commenced details of boundary treatment (including details of posts and coping) and other means of enclosure shall be submitted to and approved in writing by the Local Planning Authority. The approved boundary treatments and means of enclosure shall be erected before the development is occupied and shall be permanently retained thereafter.

REASON

To ensure that the development presents a satisfactory appearance and to safeguard privacy to adjoining properties in accordance with Policies BE4, BE13 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 NONSC Retention of Public House Signage

The original pub sign and post shall be permanently retained and maintained on site.

REASON

To preserve the public house signage which is considered to represent a positive feature of the Greenway Conservation Area in accordance with Policy BE4 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

6 TL5 Landscaping Scheme - (full apps where details are reserved)

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

7 TL6 Landscaping Scheme - implementation

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period.

The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning

Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

8 TL7 Maintenance of Landscaped Areas

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

REASON

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

9 SUS1 Energy Efficiency Major Applications (full)

The measures to reduce the energy demand and carbon dioxide emissions of the development and to provide 20% of the sites energy needs through renewable energy generation (namely installation of photovoltaic panels, improved insulation, use of an efficient boiler and energy efficient light fittings) contained within the submitted reports entitled 'Design and Access Statement' and 'Authorised Submission for Part L - Submission Reference Number 17787' shall be integrated into the development and thereafter permanently retained and maintained.

REASON

To ensure that the development incorporates appropriate energy efficiency measures in accordance with policies 4A.1, 4A.3, 4A.4, 4A.6, 4A.7, 4A.9, and 4A.10 of the London Plan (February 2008).

10 SUS5 Sustainable Urban Drainage

No development shall take place on site until details of the incorporation of sustainable urban drainage have been submitted to, and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed on site and thereafter permanently retained and maintained.

REASON

To ensure that surface water run off is handled as close to its source as possible in compliance with policy 4A.14 of the London Plan (February 2008) /if appropriate/ and to ensure the development does not increase the risk of flooding contrary to Policy OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), policies 4A.12 and 4A.13 of the London Plan (February 2008) and PPS25.

11 H11A Visibility Splays

Unobstructed sight lines above a height of 1 metre shall be maintained where possible on both sides of the entrance to the site, for a distance of at least 2.4m in both directions along the back edge of the footway or verge.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with

Policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

12 H12 Access Closure and Parking Re-instatement

No development shall take place on site until a scheme to ensure the re-provision of on-street car parking, re-provision of any highways structures and the closure of the existing vehicular access onto Whitehall Road (including removal of the dropped kerb reinstatement of the footway to match the adjoining footway) has been submitted to, and agreed in writing by, the Local Planning Authority. The agreed scheme shall be implemented within one month of the new access hereby approved being completed.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM3 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

13 H13 Installation of gates onto a highway

No gates shall be installed which open outwards over the highway/footway.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM3 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

14 H15 Cycle Storage - In accordance with approved plans

The development hereby permitted, shall not be occupied until the cycle storage, changing facilities, lockers and shower facilities for cyclists (delete as appropriate) have been provided in accordance with the approved plans. Thereafter, these facilities shall be permanently retained on site and be kept available for the use of cyclists.

REASON

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

15 H7 Parking Arrangements (Residential)

The parking areas (including where appropriate, the marking out of parking spaces) including any garages and car ports shown on the approved plans, shall be constructed, designated and allocated for the sole use of the occupants prior to the occupation of the development and thereafter be permanently retained and used for no other purpose.

REASON

To ensure that an appropriate level of car parking provision is provided on site in accordance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

16 MCD10 Refuse Facilities

No development shall take place until details of facilities to be provided for the covered, appropriately sign posted, secure and screened storage of refuse at the premises have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.

REASON

In order to safeguard the character and amenities of the area, in accordance with Policies BE4, BE13, BE19 and OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policy 4B.1.

17 RPD3 Obscured Glazing

The ground floor windows facing Whitehall Road shall be glazed with permanently obscured glass below a height of 1.8m above the adjacent pavement level for so long as the development remains in existence.

REASON

To protect the privacy of future occupiers of the development in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

18 RPD4 Prevention of Balconies/Roof Gardens

The roof area of the extension hereby permitted shall not be used as a balcony, roof garden or similar amenity area.

REASON

To ensure that the development presents a satisfactory appearance and to safeguard privacy to adjoining properties in accordance in accordance with Policies BE4, BE13 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

19 RPD5 Restrictions on Erection of Extensions and Outbuildings

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no extension to any dwellinghouse(s) nor any garage(s), shed(s) or other outbuilding(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

REASON

So that the Local Planning Authority can ensure that any such development would not result in a significant loss of residential amenity in accordance with policy BE21 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

20 RPD9 Enlargement to Houses - Roof Additions/Alterations

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no addition to or enlargement of the roof of any dwellinghouse shall be constructed.

REASON

To preserve the character and appearance of the development and protect the visual amenity of the area and to ensure that any additions to the roof are in accordance with policies BE4, BE13 and BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

21 DIS1 Facilities for People with Disabilities

All the facilities designed specifically to meet the needs of people with disabilities that are shown on the approved plans and documents shall be provided prior to the occupation of the development and thereafter permanently retained.

REASON

To ensure that adequate facilities are provided for people with disabilities in accordance with Policies 3A.5, 4B.1 and 4B.5 of the London Plan (February 2008) and the Accessible Hillingdon SPD.

22 OM14 Secured by Design

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures shall be submitted and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 4B.1 and 4B.6 of the London Plan.

23 TL20 Amenity Areas (Residential Developments)

No development shall commence until final details of the layout and allocation of amenity space to the dwellings hereby approved have been submitted to, and approved in writing by, the Local Planning Authority. Thereafter none of the dwellings hereby permitted shall be occupied, until the outdoor amenity areas have been completed and made available for use by residents in accordance with the approved details. Thereafter, the amenity areas shall so be retained.

REASON

To ensure the continued availability of external amenity space for residents of the development, in the interests of their amenity and the character of the area in accordance with policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policy 4B.1.

INFORMATIVES

1 I1 Building to Approved Drawing

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

2 I13 Asbestos Removal

Demolition and removal of any material containing asbestos must be carried out in accordance with guidance from the Health and Safety Executive and the Council's Environmental Services. For advice and information contact: - Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 277401) or the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (Tel. 020 7556 2100).

3 I15 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

4 I23 Works affecting the Public Highway - Vehicle Crossover

The development requires the formation of a vehicular crossover, which will be constructed by the Council. This work is also subject to the issuing of a separate licence to obstruct or open up the public highway. For further information and advice contact: - Highways Maintenance Operations, 4W/07, Civic Centre, Uxbridge, UB8 1UW.

5 I24 Works affecting the Public Highway - General

A licence must be obtained from the Highway Authority before any works are carried out on any footway, carriageway, verge or other land forming part of the public highway. This includes the erection of temporary scaffolding, hoarding or other apparatus in connection with the development for which planning permission is hereby granted. For further information and advice contact: - Highways Maintenance Operations, 4W/07, Civic Centre, Uxbridge, UB8 1UW

6 I25A The Party Wall etc. Act 1996

On 1 July 1997, a new act, The Party Wall etc. Act 1996, came into force.

This Act requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:-

- 1) carry out work to an existing party wall;
- 2) build on the boundary with a neighbouring property;
- 3) in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations or planning controls. Building Control will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by Building Control should be taken as removing the

necessity for the building owner to comply fully with the Act.

7 I29 **Conservation Area Consent**

As the application site lies within a conservation area, Conservation Area Consent may be required for any demolition works. You should seek advice from the Conservation Officer, Planning & Community Services, 3N/02, Civic Centre, Uxbridge, UB8 1UW before undertaking any demolition works for which consent has not already been granted.

8 I47 **Damage to Verge**

You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

9 I52 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

10 I53 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

- | | |
|------|---|
| BE13 | New development must harmonise with the existing street scene. |
| BE15 | Alterations and extensions to existing buildings |
| BE19 | New development must improve or complement the character of the area. |
| BE20 | Daylight and sunlight considerations. |
| BE21 | Siting, bulk and proximity of new buildings/extensions. |
| BE23 | Requires the provision of adequate amenity space. |
| BE24 | Requires new development to ensure adequate levels of privacy to neighbours. |
| BE4 | New development within or on the fringes of conservation areas |
| OE1 | Protection of the character and amenities of surrounding properties and the local area |
| OE5 | Siting of noise-sensitive developments |
| OE6 | Proposals likely to result in pollution |
| H4 | Mix of housing units |
| H5 | Dwellings suitable for large families |
| H8 | Change of use from non-residential to residential |
| R17 | Use of planning obligations to supplement the provision of recreation, leisure and community facilities |

AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities

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It is recommended that the conversion is checked to prevent/minimise the possible entry of any migrating ground gas. Please contact the Building Control Inspector and/or the Environmental Protection Unit on 01895 250155 if you require any advise.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is that of the Cowley Brick Public House at no. 51 Chiltern View Road, which is a corner plot housing an attractive two storey Victorian property, with later Edwardian alterations. The property was converted to a Public House in the early 20th Century and historical evidence suggests that prior to this the building was divided into three properties.

The frontage of the site is surrounded by a low rendered wall and a dropped kerb exists from Chiltern View Road. An existing vehicular access also serves the site from Whitehall Road and a number of on-street parking bays run along Whitehall Road adjacent to the site.

A yard to the rear of the public house is constrained by a 2m high wall and a single storey outbuilding is located in the north eastern corner of the site.

Chiltern View Road is characterised primarily by two storey terraced or semi-detached properties, however there are a mixture of property types with some three storey properties within the eastern part of the road. Burr Hall a Grade II Listed Building is also located 11 plots to the east of the application site.

Whitehall Road consists of three storey red bricked buildings, however due to a significant change of level these are accessed via bridges and have the appearance of two storey properties.

Residential properties at no. 49 Chiltern View Road and no.82 Whitehall Road abut the site to the east and north, respectively.

The application site lies within the Greenway Conservation Area.

3.2 Proposed Scheme

The application seeks the change of use of the site from an A4(Drinking Establishment) to C3 (Residential) comprising three terraces dwellings (2 x one bedroom and 1 x two bedroom).

The proposal would involve the subdivision of the existing public house and physical alterations to the building incorporating physical alterations to the building.

To the rear, the existing large single storey rear extension would be demolished. This would be replaced for approximately two thirds of the properties width by a two storey rear extension with gable elements aligned with the rear building line of no. 49 Chiltern View Road. A single storey extension would be erected on the remaining third of the property closest to Whitehall Road, which would share the same rear building line and retain the existing boundary wall.

The existing outbuilding would be demolished and a lightweight single storey structure with a slate roof and solar panels would be erected on the rear boundary to provide a covered car parking space and cycle storage.

The rear garden would be soft landscaped and set out as a combination of communal and private amenity space.

On the eastern facade facing Whitehall Road an existing ground floor window would be replaced by a smaller window and the other would be fitted with obscured glass. A new vehicular crossover would be created toward the rear of the property with a gate to match the existing. The existing vehicular crossover on Whitehall Road would also be reinstated to footpath, but the access gate retained for pedestrian use.

To the site frontage portions of the low level wall would be removed, a ground floor window replaced with a door, and the area set out to provide two parking spaces alongside soft landscaping.

3.3 Relevant Planning History

64176/APP/2008/511 51 Chiltern View Road Uxbridge

RETENTION OF GAZEBO TO FRONT OF PUBLIC HOUSE (RETROSPECTIVE APPLICATION).

Decision: 01-05-2008 Refused

Appeal: 12-02-2009 Dismissed

Comment on Relevant Planning History

None.

4. Planning Policies and Standards

- (a) The London Plan
- (b) Planning Policy Statement 1: Delivering Sustainable Development
- (c) Planning Policy Statement: Planning and Climate Change - Supplement to Planning Policy Statement 1
- (d) Planning Policy Statement 3: Housing

- (e) Planning Policy Statement 5: Planning for the Historic Environment
- (f) Planning Policy Guidance 13: Transport

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.
- PT1.16 To seek to ensure enough of new residential units are designed to wheelchair and mobility standards.
- PT1.18 To maintain, enhance and promote town centres as the principle centres for shopping, employment and community and cultural activities in the Borough.
- PT1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

Part 2 Policies:

- BE13 New development must harmonise with the existing street scene.
- BE15 Alterations and extensions to existing buildings
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE4 New development within or on the fringes of conservation areas
- OE1 Protection of the character and amenities of surrounding properties and the local area
- OE5 Siting of noise-sensitive developments
- OE6 Proposals likely to result in pollution
- H4 Mix of housing units
- H5 Dwellings suitable for large families
- H8 Change of use from non-residential to residential
- R17 Use of planning obligations to supplement the provision of recreation, leisure and community facilities
- AM13 AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): -
 - (i) Dial-a-ride and mobility bus services
 - (ii) Shopmobility schemes
 - (iii) Convenient parking spaces
 - (iv) Design of road, footway, parking and pedestrian and street furniture schemes
- AM14 New development and car parking standards.
- AM15 Provision of reserved parking spaces for disabled persons
- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity

- AM7 Consideration of traffic generated by proposed developments.
- AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **3rd November 2010**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

The application has been advertised as affecting the character or appearance of The Greenway Conservation Area and 56 nearby owner/occupiers including The Greenway Conservation Panel were notified directly.

A 22 signature petition has been received supporting the proposal to convert the public house to housing. A letter of support has also been received citing that the proposal would remove detrimental impacts on amenity which have previously arisen from the public house.

One objection has been received raising concerns relating to:

- (i) Adequacy of car parking and safety (proximity of car parking to junction)
- (ii) Loss of water pressure; and
- (iii) The adequacy of the amenity space for future occupiers.

Internal Consultees

CONSERVATION OFFICER

Proposal:

Change of use from A4 (drinking establishment) to C3 (residential units) for use as 2x1 bed and 1x2 bed two storey terraced dwellings with associated parking and amenity space involving a two storey rear extension, alterations to existing front and side elevations, repositioning of vehicular access to side and alterations to existing vehicular crossover to front involving the demolition of existing single storey rear extensions and outbuildings to rear.

Background:

This is an attractive two storey late Victorian property, with later Edwardian alterations within the Greenway Conservation area. The property was converted to a public house in the early 20th Century. The scheme was subject to pre-app discussions, and since the meeting, the applicant has submitted further OS map and an early photograph of the property dating from the 1930s to show that the site originally consisted of three properties.

The area is characterised by suburban villas and terraced properties with front gardens and large gardens to the rear. New development within conservation areas should respect the established character of the area and should enhance its appearance (PPS 5).

Comments:

There is no objection in principle to the conversion of the PH for residential use, or to the demolition of the existing outbuildings and the single storey extensions as these are of no architectural or historical value.

Following comments made during pre-app discussions, the applicant proposes 2x1 and 1x2 bed

cottages, instead of the preferred option of three two bedroom cottages. This would be considered an improvement in terms of intensification of use, and there would be no objections to the same from a conservation point of view.

The proposed two storey rear extension appears subordinate to the main building, and again there would be no objections to it. Most of the other alterations proposed are internal and, from a conservation point of view, there are no objections to them.

With regards to the paving of the front garden, whilst not ideal, the applicant proposes to mitigate the same by introduction of formal landscaping. Whilst acceptable in principal, the detailed landscaping scheme should be subject to comments from the Landscape Officer.

The adequacy of the residential living environment would need to be assessed by the Case Officer.

The scheme also proposes an additional vehicular cross over to the side of the property. Details of boundary treatment, posts and coping should be submitted for further approval, and conditioned accordingly.

Whilst the scheme proposes to retain the original pub sign, written approval from the Council should be sought for its removal in the future. This should be conditioned accordingly.

Samples of all external finishes should be submitted to the Council for approval, and should be conditioned.

Conclusion:

Acceptable from a conservation point of view, subject to above conditions.

TREES AND LANDSCAPING

Background:

The site is the former Cowley Brick pub at the junction of Chiltern View Road and Whitehall Road. There is an external (hard-surfaced) space to the front of the building which was formerly the pub garden. There is a yard to the rear of the pub which is contained by a 2 metre high wall and gate fronting onto Whitehall Road. There are no trees or other significant landscape features which might constrain development or change of use.

There are no Tree Preservation Orders on, or close to, the site. However, it is situated within a designated Conservation Area.

Proposal:

The proposal is to convert the pub into three self-contained flats, with off-street parking for three cars, cycle and bin stores, a shared communal garden and private external spaces. Drawing No. 11 shows indicative planting to the front and rear.

Landscape Considerations:

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

- In this case there are no landscape features which are worthy of retention, or protection.
- The plans indicate that there is space and opportunity to secure a high quality landscape setting (hard and soft) which should be designed to complement the building and enhance the local Conservation Area.
- HDAS (Residential extensions, chapter 11.2) recommends that, where parking space is increased in front gardens at least 25% of front garden space is retained for soft landscaping.
- DCLG / EA guidance requires new driveways to be designed and installed in accordance with SUDS principles.

· Due to the inclusion of shared communal space, a management/maintenance plan should be secured to ensure that the spaces are established and maintained in accordance with the design intentions.

Recommendations:

No objection subject to conditions TL5, TL6, TL7.

HIGHWAYS

The proposal would not result in a significant increase in the sites traffic generation. The level of parking provision would be acceptable and the proposed vehicular access arrangements would be acceptable in terms of highway & pedestrian safety.

The new vehicular access on Whitehall Road would necessitate the removal of a highways sign and the reduction in a marked out on-street parking area. However the closure of the existing access would enable the re-provision of this infrastructure, which should be secured by condition.

No objection subject to conditions ensuring:

- * The provision of the car parking spaces;
- * The provision of appropriate visibility splays and prevention of gates opening over the highways
- * The removal of the existing vehicular crossover on Whitehall Road; and
- * The re-provision of any on-street parking or highways structures removed in implementing the new vehicular crossover on Whitehall Road.

ACCESS OFFICER

I consider that to require a larger entrance level WC would render the scheme non-viable. Given that the proposed units would be small and that the plans have otherwise been amended to accommodate the lifetime home standards, I consider that a good compromise has been achieved.

I would therefore support the above development proposal.

ENVIRONMENTAL PROTECTION UNIT - CONTAMINATION

Please note that the application site to be converted to residential is located near filled ground. The fill material is described as ashy, clay, with wood and brick from a site investigation near by, so there is a small possibility of gas being generated. It seems likely the building may predate the in-filled ground of a former clay pit, so no serious problems are anticipated. The gas informative is advised as a precaution.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application proposes the change of use of a public house (Use Class A4) to three individual dwellings (Use Class C3).

The change of use of non-residential premises to residential is acceptable under policy H8, so long as:

- i) A satisfactory residential environment can be achieved;
- ii) The existing use is unlikely to meet a demand for such accommodation in the foreseeable future; and
- iii) The proposal is consistent with other objectives of this plan, having particular regard to the contribution of the existing use to those objectives.

The premises is no longer operating as a public house and there is evidence that while the premises was in operation a number of complaints regarding nuisance were received by the Council's licensing team. Further, there are no policies which would seek to retain

the site in use as a public house and no objection is therefore raised to the principle of a change of use.

As discussed in the following sections of this report it is considered that the application would provide an appropriate residential living environment for future occupiers as discussed within the relevant section of this report and the proposal would also accord with other relevant policies. In particular the proposal would provide additional housing and contribute to meeting housing need within the borough.

The proposal is therefore considered to accord with Policy H8 of the Saved Policies UDP and be acceptable in principle.

7.02 Density of the proposed development

Policy 3A.3 of the London Plan seeks to ensure that developments maximise the potential of sites through achieving the highest density compatible with surrounding context and other relevant considerations. Table 3A.2 of the London Plan sets out density recommendations for different locations.

The application site has a public transport accessibility level (PTAL) of 2 and is considered to benefit from a good supply of local facilities being within 800m of an Metropolitan Centre. However, due to the low density nature of surrounding developments and the particular character of the Conservation Area the site is considered to be suburban in context. The London Plan therefore recommends a density of 150 - 250 habitable rooms per hectare.

The application proposes the conversion of the existing public house into three residential dwellings and would result in a density of approximately 222 habitable rooms per hectare and therefore falls within the density recommendations of the London Plan.

The proposal is considered acceptable with regard to other material considerations as addressed within the body of this report and accordingly, no objection is raised to the proposed density.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The proposal is not located within an Area of Special Local Character or within such proximity of a Listed Building that it would affect its setting. Nor is the proposal likely to result in harm to any remains of archaeological importance.

The site is located within the Greenway Conservation Area and accordingly the proposal must be considered in the context of Policy BE4 of the Saved Policies UDP which requires applications to preserve or enhance those features of a Conservation Area which contribute to their special architectural and visual qualities and avoid the loss of such features. The policy includes a presumption in favour of retaining buildings which make a positive contribution to the character or appearance of a Conservation Area.

The application would facilitate the retention of the existing building on site, which is a late Victorian property with Edwardian alterations in addition to the majority of the existing boundary wall adjacent Whitehall Road. The building is located on a relatively prominent corner marking the entrance to the Greenway Conservation Area and is considered to contribute to the architectural and visual qualities of the area. Accordingly, the principle of a development which would retain the majority of existing built form is strongly supported.

The single storey rear extensions and outbuildings proposed for demolition are in themselves of no particular architectural or historical value and accordingly there is no

objection to their removal. Nor is there any objection to the limited demolition of the low level front boundary wall, which represents a recent addition, or the installation of an additional gate in the boundary from Whitehall Road.

The proposed part two storey and part single storey rear extension would appear subordinate to the main building and is of a design which would fit comfortably within the surrounding Conservation Area. The lightweight single storey structure within the garden (providing a car port and cycle storage) would be largely screened by the retained boundary wall and is indicated to be of materials appropriate for the surrounding context as is the additional access gate off Whitehall Road. The site frontage would also benefit from an appropriate level of soft landscaping.

The proposal also indicates the retention of the existing public house sign which would provide reference to the historic use of the site and is therefore supported.

The Council's Conservation Officer has reviewed the proposal and considered the application to be acceptable from a Conservation standpoint, subject to a suite of conditions.

The retention of the existing building and design of proposed extensions demonstrated by the proposals is considered to represent a positive approach to redevelopment of this sensitive site and accordingly the proposal is strongly supported in terms of Policy BE4 of the Saved Policies UDP.

7.04 Airport safeguarding

The proposal would not contravene airport or aircraft safeguarding criteria.

7.05 Impact on the green belt

The application site is not located within or close to the designated Green Belt.

7.07 Impact on the character & appearance of the area

The developments impact on the character of the area is fully discussed within the 'Impact on archaeology/CAs/LBs or Areas of Special Character' section of the report.

7.08 Impact on neighbours

The closest residential properties to the application site are no. 49 Chiltern View Road and no.82 Whitehall Road.

The proposed two storey rear extension aligns with the rear building line of the property at no.49 Chiltern View Road, accordingly it would not result in a dominant impact on or a loss of light to these neighbouring occupiers. Nor would the proposal introduce any windows which would face this property or result in a loss of privacy for occupiers of this property.

No. 82 Whitehall Road does not have any windows facing the application site, nor would any part of the proposed two storey extension be visible from windows of this property. Accordingly, the proposal would not have a dominant impact on or result in a loss of light to occupiers of this property. The siting of the property and lack of facing windows also means that that the proposal would not result in any overlooking of either habitable rooms or sensitive areas of amenity space serving this property.

Accordingly, it is not considered that the proposal would result in any detrimental impacts on the amenity of neighbouring occupiers and would comply with Policies BE19, BE20, BE21 and BE24 of the Saved Policies UDP and guidance within the Hillingdon Design and Accessibility Statement - Residential Layouts.

7.09 Living conditions for future occupiers

Policy BE24 the Saved Policies UDP and guidance within the adopted Hillingdon Design and Accessibility Statement (HDAS) - Residential Layouts require that the design of new buildings protects the privacy of occupiers and their neighbours.

The proposal would not introduce any habitable room windows which would be overlooked by either neighbouring properties or other dwellings within the proposed development. In addition the plans clearly demonstrate that the ground floor windows adjacent to Whitehall Road would be either high level or fitted with obscure glass to a height which would protect the privacy of the future occupiers of this unit. These measures could be secured by way of condition.

The HDAS - Residential Layouts and Policy BE20 of the UDP seek to ensure that all residential developments and amenity space receives adequate daylight and sunlight while Policy BE21 seeks to resist development which would have unacceptable levels of residential amenity.

The proposed one bedroom dwellings both benefit from large windows or french doors in both the front and rear elevations. While the proposed properties would be relatively deep as proposed, respectively 10m and 11m, the internal design at ground floor level ensures an open plan layout for the primary living space and provides for internal windows between the kitchen and living space. It is considered that the proposed layout would ensure an appropriate level of light for future occupiers. At first floor level each bedroom would benefit from a clear glazed window.

The proposed two bedroom unit benefits from a large open plan habitable space at ground floor level which would be served by a large bay window, with additional light being provided by high level and obscure glazed windows secondary windows facing Whitehall Road. At first floor level each of the bedrooms would benefit from a clear glazed window.

All habitable rooms within the proposed units would benefit from an appropriate outlook.

Accordingly, the proposal is considered to comply with Policies BE20 and BE21 of the Saved Policies UDP.

The HDAS - Residential Layouts seeks to ensure that an appropriate living environment for future occupiers through the provision of adequate internal floorspace within residential units. For one-bedroom and two-bedroom units it seeks a minimum internal floorspace provision of 50m² and 63m², respectively. Each of the proposed units exceeds these minimum standards.

Policy BE23 of the Saved Policies UDP requires the provision of adequate levels of external amenity space which must be convenient located and usable. The HDAS - Residential Layouts recommends as a minimum provision of private amenity space for dwellings of 40sq.m and 60sq.m, respectively, for one and two bedroom dwellings. This would equate to a requirement for 140sq.m of private amenity space.

In terms of amenity space the applicant has provided two sets of plans providing different options.

Option 1 provides on site amenity space for the proposed dwellings in the form of a communal amenity area and three more private secluded gardens. While this form of amenity space is unusual for individual dwellings it does enable the available amenity space to be fully utilised by the future occupiers and is considered acceptable having

regard to the small dwelling sizes which would be less likely to be used as family accommodation.

The quantum of amenity space provided, at approximately 105sq.m, would fall 35sq.m below the level recommended under the HDAS - Residential Layouts.

Option 2 provides an private garden area for each property with approximately 34sq.m for each unit. Again the quantum of amenity space for each of the units would fall below the HDAS Recommendations.

Option 1 would provide the benefit of a larger expanse of amenity space which could be utilised by any future occupier, whereas option 2 would provide a greater level of private amenity space for each unit.

While under either option the quantum of amenity space falls below the HDAS recommendation, it should be acknowledged that the application proposes small units which are less likely to be used as family accommodation and the site is located within 400m of a recreation ground and within walking distance of Uxbridge Town Centre, thereby meeting the majority of exception criteria set out within the HDAS SPD 'Residential Layouts'.

The shortfall must also be considered against the positive contribution of the existing building to the character of the Conservation Area and the policy objective of retaining features of merit, set out within Policy BE4 and the constraint that this retention places on redevelopment of the site. In addition to the high quality design of the proposal as a whole which respects the character of the area and provides an acceptable living environment in all other respect.

On balance it is considered that the level of amenity space will be sufficient to serve the proposed development in accordance with Policy BE23 having regard to the location site and the high quality of the design in other respects.

Officers are of the view that either option of amenity space provision would provide an appropriate residential environment for differing reasons, however should members be minded that one option was inferior this issue could be controlled by an appropriate condition. A condition is recommended requiring the applicant to confirm the final rear garden layout.

Overall, is considered that the proposal would result in a satisfactory residential environment for future occupiers.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The proposal would not result in a significant increase in the sites traffic generation.

The proposal would provide 3 car parking spaces (1 per unit). Two of these would be accessed via an existing dropped kerb to the sites frontage and the third would be accessed via a new vehicular crossover off of Whitehall Road to the rear of the site. The existing dropped kerb on Whitehall road would be re-instated to pavement.

The level of parking provision is in accordance with the Council's maximum parking standards and considered acceptable having regard to the small size of the proposed units and the proximity to Uxbridge Town Centre. The proposal would also provide for cycle storage in accordance with the Council's Standards.

The Council's Highways Engineer has reviewed the proposal and raises no objections in terms of highways or pedestrian safety.

The proposed vehicular access would be located adjacent to an existing on-street parking area on Whitehall Road and would therefore require the removal of a highways sign and part of the parking area. However, the removal of the existing vehicular crossover would enable the re-provision of the on street parking. Subject to a condition to ensure the crossover works, reinstatement of the highways sign and remarking/re-provision of on-street parking no objection is raised to the proposal on highways grounds.

7.11 Urban design, access and security

Issues relating to design are addressed within the 'Impact on archaeology/CAs/LBs or Areas of Special Character' section above.

Issues relating to access are addressed within the 'Disabled access' section below.

Subject to a condition to ensure any proposed works are carried out to an adequate standard it is considered that the proposal would result in a secure development.

7.12 Disabled access

Policies 3A.5 and 4B.1 of the London Plan and the Accessible Hillingdon SPD require that all new developments meet the highest standards of inclusive design and that new dwellings should be designed to Lifetime Homes Standards. However, the SPD recognises that within conversions the existing building can represent a constraint and flexibility should be applied in such situations.

The applicant has submitted detailed plans and statements which address the various features of a Lifetime Home. The have been considered by the Council's Access Officer has reviewed the submission in detail and supports the proposal.

7.13 Provision of affordable & special needs housing

The proposal falls below the threshold at which the provision of affordable housing is required and does not relate to special needs housing.

7.14 Trees, landscaping and Ecology

Policy BE38 of the Saved Policies UDP seeks to retain landscape feature of merit and provide new landscaping wherever appropriate.

There are no landscape feature which are worthy of protection within the application site or on its boundary.

The proposals demonstrate that the frontage of the site would benefit from a significant level of soft landscaping, which would comply with the recommendations within the HDAS - Residential extensions that at least 25% of dwelling frontages should be soft landscaped. This would also serve to enhance the appearance of the site frontage and the Conservation Area which does not currently benefit from soft landscaping.

The plans indicate that there would be the opportunity to create a high quality landscape setting with provision of a mixture of spaces for communal and private use which would complement the built form and enhance the the Conservation Area. there is space and opportunity to secure a high quality landscape setting (hard and soft) which should be designed to complement the building and enhance the character of the Conservation Area.

The Council's Trees & Landscape Officer has reviewed the proposal and raises no

objections subject to the inclusion of conditions to ensure implementation of appropriate landscaping and maintenance of the communal area.

7.15 Sustainable waste management

Policy 4A.23 of the London Plan requires that new development provide adequate facilities for the storage of waste and recycling.

The proposal seeks the conversion of the existing public house into three individual dwelling houses, accordingly waste could be stored within the private rear gardens and the waste bags brought to the street on collection day as is standard practice within the Borough.

Subject to a condition to ensure that the location of storage facilities and measures to screen these are agreed the proposal would provide an appropriate arrangement in terms of waste management.

7.16 Renewable energy / Sustainability

Policies 4A.3 and 4A.7 of the London Plan seek to ensure that developments achieve the highest possible levels of sustainable design.

The application demonstrates that a number of methods will be utilised to reduce the buildings carbon dioxide emissions, including the utilisation of highly insulating materials where possible, the use of low energy lighting and a high efficiency gas boiler. The applicant proposes the installation of of approximately 9sq.m of solar photovoltaic panels on the roof of the car part and cycle parking area, this proposal is considered a positive way to introduce renewable technology on this site as the panels will not be visible from Chiltern View Road within the Conservation Area and will have a lesser visual impact than a normal roof top installation.

The proposal also indicated that rainwater harvesting in the form of water butts will be integrated enabling rainwater to be utilised for general tasks such as landscape maintenance and reducing overall water use.

Overall, it is considered that the proposal would represent a sustainable design, reducing carbon dioxide emissions in a manner which is sensitive to the surrounding Conservation Area. Subject to conditions to ensure the implementation of the proposed measures the scheme is considered acceptable in this regard.

7.17 Flooding or Drainage Issues

The application site is not located within an area at risk of flooding, but Policies 4A.3 and 4A.18 of the London Plan require that all developments seek to manage flood risk through sustainable techniques.

The proposal would result in a reduction in the footprint of built form on site and an increase in the amount of soft landscaping serving to reduce levels of surface water run off. Subject to conditions to ensure that sustainable drainage techniques are incorporated into the design, in particular new aspects of hard standing, it is not considered that the development would comply with

7.18 Noise or Air Quality Issues

NOISE

Policy OE1 resists proposals which are likely to be detrimental to the amenities of surrounding properties by way of noise or other environmental impacts.

The proposed residential properties would be sited within a residential area and as such

would not generate noise or other impacts which would be detrimental to the amenity of neighbouring properties.

Subject to proper management public houses are not necessarily a cause of disturbance, nor are they inappropriate in residential areas. However, in this case it should also be noted that when in use as a public house the site seems to have been a source of complaints to the Council's licensing section and the proposed residential units are likely result in less disturbance to nearby occupiers.

AIR QUALITY

The proposal would not result in any significant impact on local air quality.

7.19 Comments on Public Consultations

Issues (i) and (iii) are addressed within the body of the report.

Issue (ii) relates to potential loss of water pressure. It is not considered that the conversion of the existing public house to residential units would have any significant impact on water pressure in the local area.

7.20 Planning obligations

The application is not of a scale which would necessitate any mitigation by way of planning obligations.

7.21 Expediency of enforcement action

Not applicable.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other

opinion, national or social origin, association with a national minority, property, birth or other status'.

9. **Observations of the Director of Finance**

10. **CONCLUSION**

The application seeks the change of use of the site from an A4(Drinking Establishment) to C3 (Residential) comprising three terraces dwellings (2 x one bedroom and 1 x two bedroom) incorporating a rear extension, alterations to the front and side elevations, car parking arrangements and soft landscaping.

The proposed extensions are considered subordinate in appearance to the existing building. The proposal as a whole is considered to represent a positive approach to redevelopment of the site which would harmonise with the character of the Conservation Area.

The proposal is considered to provide an appropriate living environment for future occupiers and an attractive landscape environment. The proposal also includes an acceptable level of inclusive design.

Subject to conditions ensuring the reinstatement of on-street parking on Whitehall Road the proposal is acceptable in terms of car parking provision, cycle parking provision, highway and pedestrian safety.

Overall, the proposal is considered to represent a positive approach to redevelopment of the site balancing the retention of the existing building against other material considerations. The application is therefore recommended for approval subject to conditions.

11. **Reference Documents**

- (a) The London Plan
- (b) Planning Policy Statement 1: Delivering Sustainable Development
- (c) Planning Policy Statement: Planning and Climate Change - Supplement to Planning Policy Statement 1
- (d) Planning Policy Statement 3: Housing
- (e) Planning Policy Statement 5: Planning for the Historic Environment
- (f) Planning Policy Guidance 13: Transport

Contact Officer: Adrien Waite

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**51 Chiltern View Road
Uxbridge**

Planning Application Ref:

64176/APP/2010/2097

Planning Committee

Central and South

Scale

1:1,250

Date

**January
2011**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address GROUND FLOOR, OLD POST OFFICE 52 STATION ROAD HAYES

Development: Change of use from Class A1 (Retail) to Class D1 (Non-Residential Institutions) for use as a Health Centre, with associated internal alterations.

LBH Ref Nos: 35807/APP/2009/2363

Drawing Nos: 2503/00_001
2503/00_005
2503/00_006
2503/00_001 Rev A

Date Plans Received: 29/10/2009 **Date(s) of Amendment(s):**
Date Application Valid: 19/11/2009

1. SUMMARY

The Applicant has advised that they are unable to enter into a legal agreement to secure car parking on the adjoining site without a condition on the consent limiting the life of the consent to the length of the lease on the building (19 years). As such a time limiting condition has been imposed. No other aspects of the scheme have been changed.

Matters raised in the previous addendum have been integrated into this report.

The proposed use, which would be an extension to the existing medical centre, is considered appropriate within a town centre and is supported by Councils objectives, national and regional policies and NHS Hillingdon, as it would help to meet the growing demand for health care in Hayes. The amenities of adjoining residential properties would be safeguarded by appropriate conditions.

It is considered that given the community benefits afforded by the scheme and the site's town centre location, adjacent to the main bus routes and proximity of the public parking, an exception to established Saved UDP shopping policies can be made in this particular case and therefore, the application is recommended for approval.

2. RECOMMENDATION

That delegated power be given to the Head of Planning and Enforcement to grant planning permission subject to the following:

1.The Council enter into an agreement with the applicant and all other relevant legal interests under Section 106 of the Town and Country Planning Act 1990 (as amended) to ensure that:

(a) The provision of 21 car parking spaces are provided at the existing health centre adjacent to 52 Station Road for the exclusive users of the Development. Of these 21 spaces, 18 are permanent, including two spaces to be reserved for disabled drivers. A further 3 spaces would be provided in a stacked arrangement as detailed on drawing referenced 35807/100.

(b) That the applicant meets the Council's reasonable costs in the preparation of the Section 106 Agreement and any abortive work as a result of the agreement not

being completed.

2. That Officers be authorised to negotiate and agree detailed terms of the proposed agreement.

3. If a S106 agreement or other similar associated documentation is not signed within 6 months, or any other period deemed appropriate by the Head of Planning and Enforcement, then the application is to be referred back to Committee for further consideration.

4. That subject to the above, the application be determination by the Head of Planning and Enforcement under delegated powers subject to the completion of the Agreement or associated documentation under section 106 and other appropriate powers with the applicant.

5. That if the application is approved, the following conditions be attached:-

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 T6 Temporary Use - Discontinuance

The use hereby permitted shall be discontinued on or before 25 January 2030.

REASON

It is not considered appropriate to grant a permanent permission for the use until its effect on the amenities of the locality has been assessed in compliance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 HLC5 Hours of operation

The premises shall not be used except between 0800 hours and 2000 hours Mondays to Fridays, between 0800 hours and 1800 hours on Saturdays and at no time on Sundays, Public or Bank Holidays.

REASON

To safeguard the residential amenity of the occupiers of adjoining and nearby properties in accordance with Policy OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 NONSC Deliveries and Collection

The premises shall not be used for deliveries and collections, including waste collections other than between the hours of 08:00 and 18:00, Mondays to Fridays, 08:00 to 13:00 Saturdays and not at all on Sundays and Bank and Public Holidays.

REASON

To safeguard the amenity of surrounding areas, in accordance with Policies OE1, OE3 and S6 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

6 N13 Sound insulation of commercial/entertainment premises

The development shall not begin until a sound insulation scheme for the control of noise transmission to the adjoining dwellings/premises has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be fully implemented before the development is occupied/use commences and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

REASON

To safeguard the amenity of the occupants of surrounding properties in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

7 DIS1 Facilities for People with Disabilities

All the facilities designed specifically to meet the needs of people with disabilities that are shown on the approved plans shall be provided prior to the occupation of the development and thereafter permanently retained.

REASON

To ensure that adequate facilities are provided for people with disabilities in accordance with Policy AM13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policies 3A.13, 3A.17 and 4B.5.

8 H16 Cycle Storage - details to be submitted

The use hereby approved shall not commence until details of covered and secure cycle storage have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details prior to the occupation of the development and thereafter permanently retained.

REASON

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan (February 2008).

9 NONSC Refuse and recycling

No development shall take place until details of facilities to be provided for lockable refuse and recycling storage for the medical centre have been submitted to and approved in writing by the Local Planning Authority. The medical centre refuse and recycling storage shall be integral to the building and shall demonstrate appropriate provision for the storage of medical and clinical waste. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.

REASON

In order to safeguard the amenities of the area and provide adequate refuse facilities, in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policies 4A.22 and 4B.1.

10 OM19 Construction Management Plan

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (ii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iii) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (iv) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

11 NONSC Non Standard Condition

No air extraction system shall be used on the premises until a scheme for the control of noise, fumes and odours emanating from the site has been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall then be fully implemented before the development is occupied/the use commences and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

REASON

To safeguard the amenity of the occupants of surrounding properties in accordance with policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

12 NONSC Non Standard Condition

Before development commences, plans and details of the proposed access ramp into the front entrance of the building (including details of surface materials) shall be submitted to and approved in writing by the Local Planning Authority. There after the ramp shall be constructed in accordance with the approved details. There after the ramp shall be maintained in good condition for the life of the development.

REASON

To ensure that people with disabilities have adequate access to the development in accordance with Policies AM13 and R16 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan Policies (February 2008) Policies 3A.13, 3A.17 and 4B.5.

INFORMATIVES

1 152 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 153 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
OE1	Protection of the character and amenities of surrounding properties and the local area
S6	Change of use of shops - safeguarding the amenities of shopping areas
S11	Service uses in Primary Shopping Areas
R16	Accessibility for elderly people, people with disabilities, women and children
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
LPP 4A.20	London Plan Policy 4A.20 - Reducing Noise and Enhancing Soundscapes
LPP 2A.8	London Plan Policy 2A.8 - Town Centres
LPP 2A.9	London Plan Policy 2A.9 - Supporting Sustainable Communities
LPP 3D.1	London Plan Policy 3D.1 - Supporting Town Centres.
CACPS	Council's Adopted Car Parking Standards (Annex 1, HUDP, Saved Policies, September 2007)

3 11 **Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 13 **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed

plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

5 112 Notification to Building Contractors

The applicant/developer should ensure that the site constructor receives copies of all drawings approved and conditions/informatives attached to this planning permission. During building construction the name, address and telephone number of the contractor (including an emergency telephone number) should be clearly displayed on a hoarding visible from outside the site.

6 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

7 125 Consent for the Display of Adverts and Illuminated Signs

This permission does not authorise the display of advertisements or signs, separate consent for which may be required under the Town and Country Planning (Control of Advertisements) Regulations 1992. [To display an advertisement without the necessary consent is an offence that can lead to prosecution]. For further information and advice, contact - Planning & Community Services, 3N/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250574).

8 146 Renewable Resources

To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO₂) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.

9 151 Notification of Commencement of Works

Written notification of the intended start of works shall be sent to Planning & Community Services, London Borough of Hillingdon, Civic Centre, High Street, Uxbridge, UB8 1UW

at least seven days before the works hereby approved are commenced.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the west side of Station Road at its corner with St Anselms Road and comprises a ground floor commercial unit which is currently vacant, with 3 floors above in residential use. The application site was previously in use as a post office and formed the front part of the former Post Office and British Telecom building which was used for various functions which included telephone exchange, delivery/sorting/distribution of post, administration, maintenance engineering and as a base for post office staff providing welfare and rest room facilities. Land to the rear of the application site has since been redeveloped comprising a health care centre on the ground floor with residential above, fronting St Anselms Road. To the north lies 50 Station Road an employment centre and to the south lies St Anselms Road.

The street scene is commercial in character and appearance and the application site lies within the Primary Shopping Area of the Hayes Town Centre as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

3.2 Proposed Scheme

Planning permission is sought for the change of use of the ground floor from class A1 to class D1 to form an extension of the existing HESA primary care centre adjacent to the application unit along St Anselms Road. The unit would provide 5 examination/consultation rooms, waiting area and reception rooms. The existing entrance on the corner with High Street and St Anselms Road would form an entrance to the unit however it would also be accessed from the existing health centre via an internal link.

No external alterations are proposed but 24 car parking spaces are to be provided and are located to the rear of the premises. These spaces will be secured by way of a section 106 legal agreement.

3.3 Relevant Planning History

35807/APP/2001/1118 52 Station Road Hayes

CHANGE OF USE TO CLASS D1 (NEW RESIDENTIAL INSTITUTION) INCLUDING MEDICAL AND HEALTH SERVICES, INVOLVING PART DEMOLITION OF BUILDING AND ERECTION OF EXTENSIONS AND EXTERNAL ALTERATIONS

Decision: 31-08-2001 Approved

35807/APP/2002/538 52 Station Road Hayes

CHANGE OF USE TO CLASS D1 (NON- RESIDENTIAL INSTITUTION) INCLUDING MEDICAL AND HEALTH SERVICES AND INVOLVING ERECTION OF EXTENSIONS AND EXTERNAL ALTERATIONS

Decision: 11-07-2002 Approved

35807/APP/2009/1437 52 Station Road Hayes

Change of use from A1 Retail to A2 Financial and professional services (Bookmakers) to include alterations to windows and front entrance and installation of 4 satellite dishes/aerials to rear and air conditioning units.

Decision: 11-11-2009 Refused

Comment on Relevant Planning History

An appeal has been lodged against a planning application (ref: 35807/APP/2009/1437) for the change of use from class A1 to class A2, to be used as a betting office. However, had an appeal not been received, the application would have been refused for the following reasons:

1. The proposal by reason of the loss of an A1 retail unit and increase in the width of the interruption of the retail frontage, would erode the retail function and attractiveness of the shopping centre, harming its vitality and viability. The proposal is therefore contrary to Policy S11 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and policy 3D.3 of the London Plan 2008.

2. The proposed shopfront alterations, by reason of their overall size, scale and design would fail to harmonise with the symmetry, composition, proportions and overall architectural character of the original building. The proposal would therefore be detrimental to the character and appearance of the surrounding area generally, contrary to policies BE13, BE19 and BE28 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

3. The proposal fails to provide adequate information (a noise assessment) to demonstrate that the proposed condenser units would not harm the residential amenities of adjoining and nearby residents, contrary to policies S6 (iii) and OE1 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

The appeal has subsequently been withdrawn.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.20 To give priority to retail uses at ground floor level in the Borough's shopping areas.

Part 2 Policies:

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

OE1	Protection of the character and amenities of surrounding properties and the local area
S6	Change of use of shops - safeguarding the amenities of shopping areas
S11	Service uses in Primary Shopping Areas
R16	Accessibility for elderly people, people with disabilities, women and children
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
LPP 4A.20	London Plan Policy 4A.20 - Reducing Noise and Enhancing Soundscapes
LPP 2A.8	London Plan Policy 2A.8 - Town Centres
LPP 2A.9	London Plan Policy 2A.9 - Supporting Sustainable Communities
LPP 3D.1	London Plan Policy 3D.1 - Supporting Town Centres.
CACPS	Council's Adopted Car Parking Standards (Annex 1, HUDP, Saved Policies, September 2007)

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

121 adjoining owner/occupiers have been consulted. 3 objections have been received.

Internal Consultees

Environmental Protection Unit:

The letter from the applicant dated 28th October 2009 states that the proposal mainly involves alterations to the internal layout of the building to suit the provision of health care services. It is also stated that Hillingdon PCT lease the adjacent building and would like to expand their services by linking into the ground floor of 52 Station Road.

The drawing showing the proposed floor plan shows access to upper floor flats, apparently situated above the proposed health care facility. I understand that these flats were not provided when the ground floor of the building was previously used as a Post Office. If this is the case, then conditions need to be imposed to protect residents of the flats from noise disturbance. A condition should be considered restricting days and hours of opening of the health care facility. Also, a sound insulation condition should be considered.

Highways:

Vehicular access to the site is from Nield Road.

There are a total of 24 spaces provided on adjoining land controlled by the Applicant. Two of the parking spaces would be for disabled users.

There are also 13 on street disabled parking bays adjoining but outside the site frontage which are managed by the Council. There are also pay and display parking bays in Nield Road.

In view of the available parking (24 spaces to be secured by way of a legal agreement), and the site's location in a town centre no objections are raised on highway grounds.

Policy & Environmental Planning:

Policy R10 states that proposals for community and health uses will be considered as acceptable in principle subject to other policies in the Plan.

Paragraph 9.28 states that "increasing demands on primary health care services will require improvements to the existing primary care facilities and additional premises, particularly in the south of the Borough where facilities are poorer. The need for premises to be easily accessible to meet the needs of disadvantaged groups will be borne in mind." The application meets a number of these objectives; it is in the south of the borough, it is in an easily accessible location, and it will improve existing primary care facilities.

Policy S6 seeks to safeguard the amenity of shopping centres and provides assessment criteria for proposals.

Para 8.26 seeks to maintain at least 70% of the primary area frontage in Class A1 use and generally to avoid concentrations of service uses in both primary and secondary areas. The 2009 shopping survey undertaken by Hillingdon shows that Hayes has 63% A1 uses in the primary frontage which falls under the 70% threshold. The application, therefore, does not meet this criterion.

A change of use to D1 is not supported by Policy S11 which sets out service uses acceptable at ground floor level in primary shopping areas. The policy also supports development that does not result in a separation of A1 uses or a concentration of non-retail uses. Hillingdon's 2009 shopping survey suggests a change of use on the application site would not result in a separation of A1 uses or a concentration of non-retail uses.

Parking policies may also apply.

Retail Study 2006 - The Retail Study provides a health check on Hayes using data collected in 2004. It concludes that key opportunities to improve Hayes include improving the health and beauty, and electrical goods offer in the town, developing the convenience market, and improving the appeal of Hayes as a place to live by introducing a suitable metro grocery format store. In the long term, a residential-led regeneration strategy is recommended.

Recommendations of this study will be assessed and taken forward through the LDF, but clearly an improved health service provision in the town centre would support an increase in the residential population.

Annual Monitoring Report (AMR) - The AMR assesses how far planning policies are meeting related borough-wide targets from the Sustainable Community Strategy and the Local Area Agreement. Pertinent aims and objectives include 'A borough with improving health, housing and social care where first class health and social care is available to all' and 'Create new hospital and primary care facilities serving the north and south of the borough'.

One of the indicators employed to assess if planning policies have successfully contributed towards these objectives is LO12: amount of new floor space for health and education facilities. While there

is no specific quantitative target, creating new health care facilities is clearly a priority for the borough as a whole and planning policies are expected to contribute to this aim.

Emerging LDF - Hayes lies within the Heathrow Opportunity Area which is identified as one of the main areas for growth over the next 15 years. Infrastructure, including community facilities, will be needed to support this growth. The policy direction for town centres will reflect recent national and regional guidance and endorse a diversification of uses which will help town centres become a focus for local communities through a wider range of services, particularly community facilities.

Regional Policy - London Plan Consolidated with Alterations since 2004 (2008)

The London Plan strongly promotes consumer activity in town centres which provides a mixture of uses and offers a focal point for their surrounding communities. In particular:

- Policies 2A.8 and 2A.9 seek to enhance the vitality and viability of town centres, and the quality of life, economy and environment of suburban London, by focusing uses such as community services in town centres.

- Policy 3D.1 explicitly endorses DPD policies that require to the location of appropriate health, education and other public and community services in town centres.

- Hayes is classified as a District centre in the London Plan.

- National Policy - PPS4: Planning for Sustainable Economic Growth (2009)

In this recently published Statement, economic development includes public and community uses. Government objectives include promoting the vitality and viability of town centres as important places for communities. To do this, the Government wants new economic development to be focused in existing town centres with the aim of offering a wide range of services to meet the needs of the entire community.

- Policy EC13.1 addresses planning applications affecting shops and services in local centres. It states that local planning authorities should take into account the importance of the shop or service to the local community or the economic base of the area if the proposal would result in its loss or change of use. Applications which fail to protect existing facilities which provide for people's day-to-day needs should be refused.

This is the most recent guidance on planning for town centres

Conclusion - While UDP policy R10 considers proposals for health uses acceptable in principle, change of use on the application site is resisted by policy S11 and paragraph 8.26. However, the application meets borough-wide strategic objectives to improve health care facilities.

Recent national and regional policies advocate a more flexible approach to town centres uses which help to create a focal point for communities through a wider range of services, particularly community facilities. These policies are reflected in Hillingdon's emerging LDF which will eventually replace the UDP.

It is therefore considered that the proposed change of use would enhance the vitality and viability of Hayes town centre by providing a community facility, in accordance with the London Plan, PPS4 and borough-wide objectives.

Planning Obligations Officer

A planning obligation is required to secure car parking (which is to be located on a site outside of the 'Red Line' plan).

The heads of terms would require:

- i) The provision of 24 car parking spaces are provided at the existing health centre adjacent to 52 Station Road. Of these 24 spaces, 18 are permanent, including two spaces to be reserved for disabled drivers and six doubled up spaces.
- ii) That the applicant meets the Council's reasonable costs in the preparation of the Section 106 Agreement or other similar associated documentation and any abortive work as a result of the agreement not being completed.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application site lies within the primary shopping area of the Hayes town centre. Paragraph 8.24 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) defines primary shopping areas as the focus of retail activity in the centres and are either already generally dominated by retail shops or are areas which the Local Planning Authority considers have prime retail potential. Paragraph 8.26 states that as a guideline, the Council will normally seek to prevent a separation or an increase in the separation of class A1 units of more than approximately 12m which is broadly the width of two typical shop fronts. Class A1 shops should remain the predominant use in primary areas and the Local Planning Authority will expect at least 70% of the frontage to be in class A1 use.

Policy S11 establishes the change of use from class A1 to non class A1 uses in primary frontages where there remains adequate retail facilities to accord with the character and function of the shopping centre in order to maintain the vitality and viability of the town centre.

The 2009 shopping survey shows that within the primary frontage of the Hayes town centre, class A1 uses make up 63% of the frontage. The proposal would reduce this further and as such, it would not meet this criterion. The proposal would not however result in a separation of class A1 uses.

In principle, Policy R10 encourages proposals for community and health uses subject to other policies in the Plan. Paragraph 9.28 states that "increasing demands on primary health care services will require improvements to the existing primary care facilities and additional premises, particularly in the south of the Borough where facilities are poorer. The need for premises to be easily accessible to meet the needs of disadvantaged groups will be borne in mind." The application meets a number of these objectives as it is in the south of the borough, it is in an easily accessible location, and it will improve existing primary care facilities.

The Council carried out a Retail Study in 2006. This study provides a health check on Hayes using data collected in 2004. It concludes that key opportunities to improve Hayes include improving the health and beauty, and electrical goods offer in the town, developing the convenience market, and improving the appeal of Hayes as a place to live by introducing a suitable metro grocery format store. In the long term, a residential-led regeneration strategy is recommended.

New health care facilities are also supported by the Council's Annual Monitoring Report which assesses how far planning policies are meeting related borough-wide targets from the Sustainable Community Strategy and the Local Area Agreement. One of the main aims and objectives include "A borough with improving health, housing and social care

where first class health and social care .. is available to all" and "Create new hospital and primary care facilities serving the north and south of the borough".

With regards to national and regional policy, the London Plan strongly promotes consumer activity in town centres which provides a mixture of uses and offers a focal point for their surrounding communities. In particular, Policies 2A.8 and 2A.9 seek to enhance the vitality and viability of town centres, and the quality of life, economy and environment of suburban London, by focusing uses such as community services in town centres. Furthermore, Policy 3D.1 explicitly endorses DPD policies that require to the location of appropriate health, education and other public and community services in town centres. Hayes is classified as a District centre in the London Plan.

Policy EC13.1 of Planning Policy Statement 4: Planning for Sustainable Economic Growth (2009) addresses planning applications affecting shops and services in local centres. It states that local planning authorities should take into account the importance of the shop or service to the local community or the economic base of the area if the proposal would result in its loss or change of use. Applications which fail to protect existing facilities which provide for people's day-to-day needs should be refused.

It is accepted that the proposed development would further erode the retail character and function of the Hayes town centre. However, the above demonstrates that there is strong borough wide strategic support through the Council's aims and objectives to improve the health of its population and strong policy support at regional and national level, particularly where such uses would provide a vital service and underpins the local community.

It is therefore considered that on balance, the proposed change of use would enhance the vitality and viability of Hayes town centre by providing a community facility, in accordance with the London Plan, PPS4 and borough-wide objectives. Therefore, an exception to established UDP Saved shopping policies can be made in this particular case.

7.02 Density of the proposed development

This is not applicable to this application for a change to medical use.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The proposal would not affect any listed buildings, conservation areas or any archaeological remains.

7.04 Airport safeguarding

This is not applicable to this application for a change of use to a medical centre.

7.05 Impact on the green belt

The application site does not lie within the Green Belt.

7.07 Impact on the character & appearance of the area

No external alterations are proposed and therefore, the proposal would not harm the appearance of the street scene in accordance with policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.08 Impact on neighbours

In terms of assessing the effects of the proposal on residential amenity, the relevant factors are those of noise and general disturbance. The nearest residential properties are situated above the ground floor unit. The proposed use is not likely to generate any significant noise over and above the previous use of a post office. However, it is considered that planning conditions requiring the installation of appropriate sound attenuation and insulation between floors and the imposition of limitations on hours of operation and deliveries to match those for the adjoining health care unit would be sufficient to maintain the residential amenity of the occupiers of adjoining and nearby

residential properties, should planning permission be granted.

The proposal would therefore comply with policies OE1 and S6 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and 4A.20 of the London Plan (February 2008).

7.09 Living conditions for future occupiers

This is not applicable to this application for a change of use to a medical centre.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The Council's car parking standards do not stipulate a parking requirement for medical and other health practice uses. The car parking requirement would normally be determined on an individual basis using a transport assessment and/or travel plan. The application has not been accompanied by a transport assessment or travel plan.

The application site lies within the Hayes Town Centre and there are 18 existing on site parking spaces, including 2 disabled bays. A further 6 spaces can be accommodated in the parking area in a stacked arrangement (in total, the proposal will be supported by 24 spaces.

There are also 13 disabled parking bays adjoining but outside the site frontage which are managed by the Council. There are also pay and display parking bays in Nield Road and the application site lies on the main bus routes on Station Road. Hayes & Harlington Station is also some 300m to the south.

In these circumstances, the Highway Engineer raises no objection on highway grounds. The Council's minimum cycle parking standard for Class D1 uses is 2 spaces per consulting room. 5 consulting rooms are proposed and as such, 10 spaces are required. This can be secured by way of a planning condition. The scheme is considered acceptable in accordance with policies AM7(ii), AM9 and AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

7.11 Urban design, access and security

This is addressed at section 07.10.

7.12 Disabled access

The proposal would provide a disabled persons' toilet and the existing ramp would be utilised. The proposal would therefore comply with the above guidance and policy R16 of the saved UDP.

7.13 Provision of affordable & special needs housing

This is not applicable to this application for a change of use to a medical centre.

7.14 Trees, landscaping and Ecology

This is not applicable to this application for a change of use to a medical centre.

7.15 Sustainable waste management

This is not applicable to this application for a change of use to a medical centre.

7.16 Renewable energy / Sustainability

This is not applicable to this application for a change of use to a medical centre.

7.17 Flooding or Drainage Issues

This is not applicable to this application for a change of use to a medical centre.

7.18 Noise or Air Quality Issues

This is not applicable to this application for a change of use to a medical centre.

7.19 Comments on Public Consultations

3 objections have been received.

7.20 Planning obligations

A planning obligation is required to secure car parking (which is to be located on a site outside of the 'Red Line' plan).

The heads of terms would require:

i) The provision of 24 car parking spaces are provided at the existing health centre adjacent to 52 Station Road. Of these 24 spaces, 18 are permanent, including two spaces to be reserved for disabled drivers, a further 6 spaces would be provided in a stacked arrangement.

ii) That the applicant meets the Council's reasonable costs in the preparation of the Section 106 Agreement or other similar associated documentation and any abortive work as a result of the agreement not being completed.

7.21 Expediency of enforcement action

This is not applicable to this application.

7.22 Other Issues

There are no other relevant matters to be addressed under this application.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

This is not applicable to this application.

10. CONCLUSION

The proposed development would result in the loss of a retail unit, however in this particular case, the proposal would meet borough-wide strategic objectives, and accord with regional and national policies. The Hillingdon Primary Care Trust has confirmed that the proposed unit is vital to meeting the growing demand in for health care provision in Hayes.

The use as a medical centre is an appropriate town centre use facility which would serve the existing health centre. Any adverse impact upon neighbouring residential properties can be mitigated through appropriate planning conditions.

There would be 24 car parking spaces provided to serve the proposal, which would be secured by a S106 legal agreement. The application site lies within a town centre, adjacent to the main bus routes and is close to pay and display parking in Nield Road. Given the obvious community benefits of such a use, it is considered that on balance, an exception can be made to established UDP Saved shopping policies and therefore, this application is recommended for approval.

11. Reference Documents

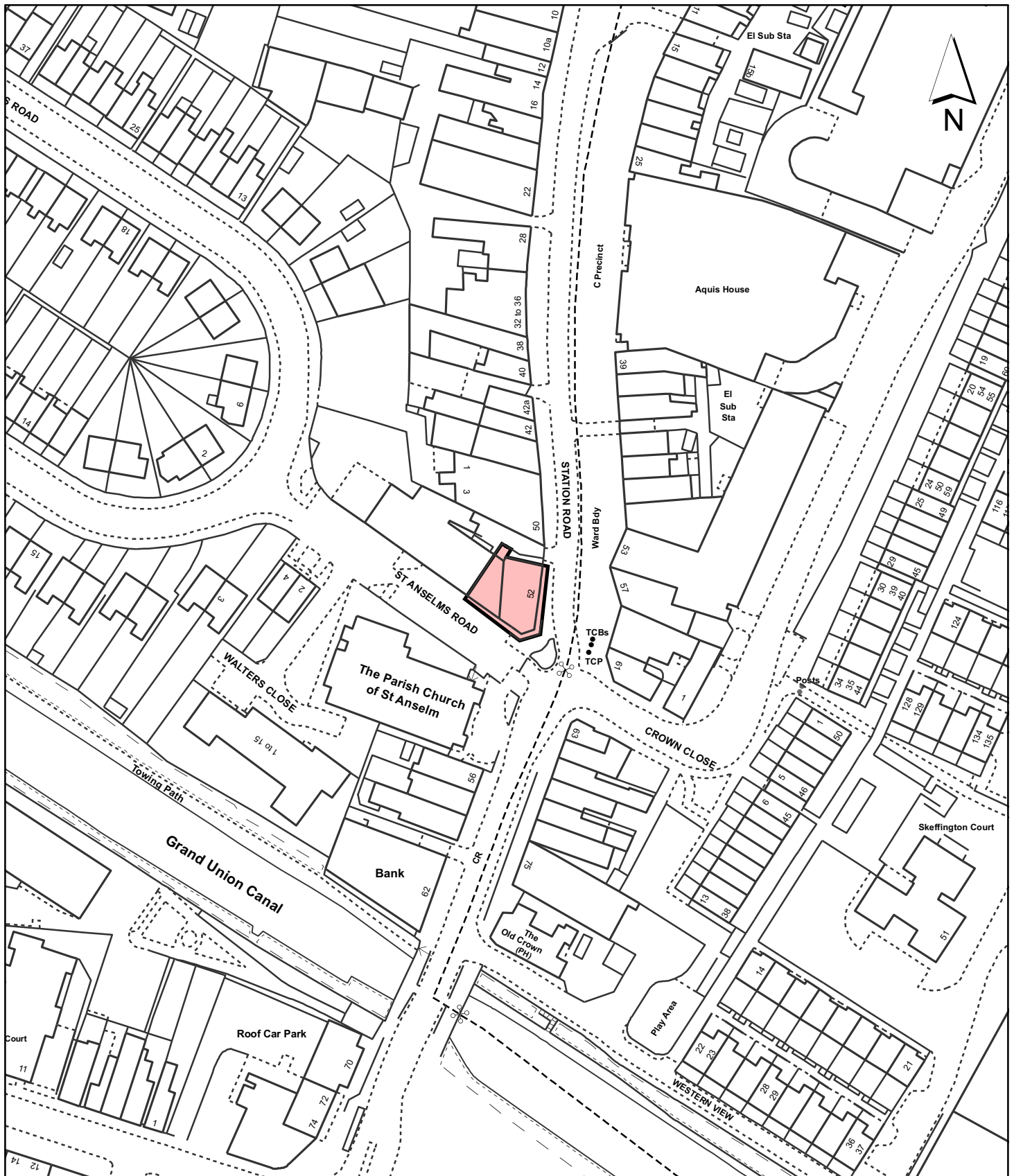
PPS4: Planning for Sustainable Economic Growth (2009)

London Plan 2008


Adopted Hillingdon Unitary Development Plan (Saved Policies September 2007)

Contact Officer: Sonia Bowen

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**52 Station Road
Hayes**

Planning Application Ref:
35807/APP/2009/2363

Planning Committee
Central and South

Scale
1:1,250

Date
January 2010

**LONDON BOROUGH
OF HILLINGDON
Planning &
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

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Report of the Head of Planning & Enforcement Services

Address THE ARENA, STOCKLEY PARK STOCKLEY ROAD WEST DRAYTON

Development: Change of use from Class B1 (Office) to Class D1 (Non-residential institutions) for use as further education college and management training premises.

LBH Ref Nos: 37800/APP/2010/1669

Drawing Nos: 10-355-003
10-355-004
Design and Access Statement prepared Design and Access Statement
Email from Stephen Walker dated 13/09/10
10-355-006 (Indicative layout)
Unnumbered Location Plan
Email from Steve Walker dated 15/10/10
Letter from Russell-Cooke Solicitors dated 09/11/10
Supplemental Statement prepared by Stephen F Walker dated 11/12/10
Email from Steve Walker dated 05/01/11

Date Plans Received:	19/07/2010	Date(s) of Amendment(s):	19/07/2010
Date Application Valid:	22/07/2010		13/09/2010
			06/10/2010
			09/11/2010
			11/12/2010
			05/01/2011

1. SUMMARY

This application seeks full planning permission for the change of use of an existing office (Class B1) to non-residential institution (Class D1) for use as a further education college and management training premises, at The Arena in Stockley Park.

This application was reported to the Council's Central and South Planning Committee on the 23 November 2010 where it was resolved to defer making a decision until additional information had been provided by the applicant, relating to the demand for the proposed educational establishment, highways and parking impacts and proposed management arrangements.

The applicant has now provided additional information which, it is considered, sufficiently demonstrates that there is a demand for the proposed use in this location, and that the demand cannot be met at existing educational facilities within the borough.

The applicant has provided details relating to student demographics and travel demand. The applicant has also confirmed that some controls are in place to ensure that private car parking areas are appropriately managed across the Stockley Park Campus. Nevertheless, there are large expanses of uncontrolled public parking areas, and concern is raised that potential student parking in these areas could increase the demand for car parking across the Stockley park Campus, resulting in an unacceptable increase in on-street parking, detrimental to highway and pedestrian safety.

PPG 2: Green Belts states that with suitable safeguards, the re-use of buildings should

not prejudice the openness of Green Belts, since the buildings are already there.

PPG 2 makes it clear that the re-use of buildings inside a Green Belt is not inappropriate development providing:

- (a) it does not have a materially greater impact than the present use on the openness of the Green Belt and the purposes of including land in it;
- (b) strict control is exercised over the extension of re-used buildings, and over any associated uses of land surrounding the building which might conflict with the openness of the Green Belt and the purposes of including land in it (eg because they involve extensive external storage, or extensive hardstanding, car parking, boundary walling or fencing);
- (c) the buildings are of permanent and substantial construction, and are capable of conversion without major or complete reconstruction; and
- (d) the form, bulk and general design of the buildings are in keeping with their surroundings. (Conversion proposals may be more acceptable if they respect local building styles and materials, though the use of equivalent natural materials that are not local should not be ruled out).

This application is considered to accord with the above.

No objections are raised to the principle of the development. Notably, it is considered that the proposal complies with the objectives of other UDP policies which encourage the provision of new buildings for education.

Concerns are raised over potential parking issues which could result from students parking indiscriminately around Stockley Park and a reason for refusal is recommended on this basis. This is discussed further in section 7.10 of the report.

The details of the type of facility proposed are set out more fully in section 3.2 of this report.

Demand for the facility is considered further in section 7.01 of this report.

The proposal is considered to be contrary to relevant UDP and London Plan policies relating to highway safety and parking provision and refusal is recommended.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposal has not demonstrated that sufficient off street parking would be provided, and therefore the development is considered to result in substandard car parking provision to the Council's approved car parking standard, leading to possible on-street parking /queuing to the detriment of public and highway safety and contrary to policies AM7 and AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to the Hillingdon's Adopted Parking Standards (Hillingdon UDP, Saved Policies, September 2007).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to REFUSE planning permission has been taken having regard to all

relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

OL1	Green Belt - acceptable open land uses and restrictions on new development
OL4	Green Belt - replacement or extension of buildings
BE8	Planning applications for alteration or extension of listed buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
OE1	Protection of the character and amenities of surrounding properties and the local area
R10	Proposals for new meeting halls and buildings for education, social, community and health services
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises part of the upper ground floor (approximately 380m²) of the building known as The Arena at Stockley Park. The split level, part two, part three-storey building, was constructed in the 1980s as a multi-purpose, multi-user complex containing offices, catering, including a public house, retail and meeting uses at the hub of the Stockley Park office and business park development.

The building is an unusual and irregular shape comprising three wings off a central cylindrical element. The proposed facility would occupy part of the south/west wing. A large car park forms the north and north west part of the site. The site is bounded by lakes to the south, beyond which are buildings, mostly offices, associated with the business park and by Stockley park Golf Course to the north. Access to the site is gained through Stockley Park via Roundwood Avenue.

The Arena is a locally listed building and it falls within the Green Belt as shown on the Hillingdon Unitary Development Plan Proposals Map.

3.2 Proposed Scheme

Planning permission is sought for the change of use of the existing B1 offices to a further education college within class D1 use. The college would deliver the following courses at the application site, predominantly to Tier 4 foreign students:

- Diploma in Sales and Marketing Management (level 3)
- Higher Diploma in Sales and Marketing Management (level 4)
- Professional Diploma in Sales and Marketing Management (level 5)
- Diploma in Travel and Tourism Marketing (level 3)
- Higher Diploma in Travel and Tourism Marketing (level 4)
- Professional Diploma in Travel and Tourism Marketing (level 5)
- Diploma in Business Development and Marketing (level 3)
- Higher Diploma in Business Development and Marketing (level 4)
- Professional Diploma in Business Development and Marketing (level 5)
- Diploma in Human Resource Development and Marketing (level 3)
- Higher Diploma in Human Resource Development and Marketing (level 4)
- Professional Diploma in Human Resource Development and Marketing (level 5)

Tier 4 Foreign Students are international students who are born and normally reside abroad and who are granted (points based) Visas by the UKBA (UK Border Agency) to be domiciled in the UK for the duration of their education and providing always that those students return to their own countries immediately following completion of their courses (or in the event that for other reasons the UKBA may require their departure from the UK).

"Tier 4" refers to a particular category of educational post-16 visitor to the UK and a level within a points based Visa selection and award system.

Individual students are scrutinised by the UKBA during their Visa applications and their temporary residence in the UK is controlled and monitored by the UKBA and by ASIC (Accreditation Service for International Colleges).

As a part of both the UKBA and ASIC monitoring of the students whilst in the UK, the College is required to both monitor the education and pastoral behaviour of students in accordance with recognised standards, to ensure that the courses delivered are properly constituted, and to ensure that the college premises have the proper D1 Use Class designation with good quality facilities available.

Whilst the college would be primarily geared to provision of education to the Tier 4 Foreign Students, it would nevertheless be available to UK citizens resident within the London Borough of Hillingdon where their background culture, educational and financial profiles, and career aspirations would benefit from the courses and context offered by the College.

The existing premises comprises a number of small offices, WC facilities, a small kitchen, plant rooms and a large operational area. An indicative internal layout plan has been provided which indicates that the existing operational area would be subdivided to provide two classrooms each capable of accommodating up to 40 pupils, an IT room/classroom capable of accommodating up to 12 pupils, two small tutorial/interview rooms, a student common room and a staff room. The existing office, WC, kitchen and plant room facilities would be retained.

No external changes are proposed. Whilst the applicant has advised that internally the space would be subdivided by non-structural partitions, and an indicative internal layout has been provided, it should be noted that these elements of the proposal do not require planning permission.

The applicant has advised that the facility would cater for a maximum of 60 students at any one time. Operating hours would be between 09.00 and 18.00 Monday to Friday.

Most students would arrive between 09.00 and 10.00 and depart between 17.00 and 18.00.

3.3 Relevant Planning History

27951/B/81/1955 Stockley Park Project Stockley Road West Drayton

Mixed dev. on 131.4300 hectares (outline)(P)

Decision: 20-12-1984 Approved

37800/86/1390 Stockley Park Central Leisure & Amnty BI Stockley Road West Drayton

Details of central Leisure & Amenity buildings in compliance with outline plan.perm
27951B/81/1955 dated 20.12.84

Decision: 14-11-1986 Approved

37800/AC/95/1804 The Arena, Stockley Park Stockley Road West Drayton

External alterations to main entrance

Decision: 01-05-1996 Approved

37800/ADV/2004/19 The Arena, Stockley Park Stockley Road West Drayton

INSTALLATION OF 3 PART INTERNALLY ILLUMINATED, PART NON-ILLUMINATED WALL
MOUNTED SIGNS

Decision: 03-06-2004 Approved

37800/ADV/2004/31 Unit 1, The Arena, Stockley Park Stockley Road West Drayton

INSTALLATION OF INTERNALLY ILLUMINATED AND NON-ILLUMINATED SIGNAGE

Decision: 04-10-2004 Withdrawn

37800/ADV/2004/47 Unit 1, The Arena, Stockley Bennetsfield Road Stockley Park Yiewsley

INSTALLATION OF TWO INTERNALLY ILLUMINATED SHOPFRONT SIGNS (PART
RETROSPECTIVE APPLICATION)

Decision: 28-09-2004 Approved

37800/APP/1999/2654 Virgin Active Health Club, The Arena Stockley Park Stockley Road W

INSTALLATION OF ADDITIONAL PLANT ON ROOF AND ALTERATIONS TO EXTERNAL
ELEVATION INCLUDING NEW BARREL VAULT ROOFLIGHT

Decision: 26-10-2000 Approved

37800/APP/2001/2530 The Arena, Stockley Park Stockley Road West Drayton

ERECTION OF A 5 METRE FLAGPOLE MAST AND ASSOCIATED EQUIPMENT CABIN TO
THE REAR OF EXISTING BUILDING AND TWO REPLACEMENT FLAGPOLES
(CONSULTATION UNDER SCHEDULE 2, PART 24 OF THE TOWN AND COUNTRY

PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER 1995)(AS AMENDED)

Decision: 16-01-2002 PRN

37800/APP/2003/1191 The Arena, Stockley Park Stockley Road West Drayton

INSTALLATION OF THREE ANTENNAS MOUNTED ON FLAGPOLES, TWO EQUIPMENT CABINS AND ANCILLARY DEVELOPMENT (CONSULTATION UNDER SCHEDULE 2, PART 24 OF THE TOWN AND COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER 1995 (AS AMENDED)

Decision: 07-07-2003 Approved

37800/APP/2004/1046 The Arena, Stockley Park Stockley Road West Drayton

VARIATION OF CONDITION 1 OF PLANNING PERMISSION REF. 37800/86/1888 DATED 14/11/1986: ERECTION OF SCIENCE AND COMMERCIAL PARK; AND CONDITION 23 OF PLANNING PERMISSION REF.27951B/81/1955 DATED 20/12/1984: REDEVELOPMENT OF LAND

Decision: 28-09-2004 Approved

Comment on Relevant Planning History

There is an extensive planning history relating to Stockley Park. Applications directly relating to The Arena are summarised above. However, no previous applications are directly relevant to the current proposal.

4. Planning Policies and Standards

Hillingdon Unitary Development Plan Saved Policies (September 2007)
London Plan (Consolidated with Alterations since 2008)
Planning Policy Guidance 2: Green Belts
Planning Policy Guidance 13: Transport
Council's Supplementary Planning Document on Accessibility

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- | | |
|--------|---|
| PT1.1 | To maintain the Green Belt for uses which preserve or enhance the open nature of the area. |
| PT1.9 | To seek to preserve statutory Listed Buildings and buildings on the Local List. |
| PT1.10 | To seek to ensure that development does not adversely affect the amenity and the character of the area. |
| PT1.30 | To promote and improve opportunities for everyone in Hillingdon, including in particular women, elderly people, people with disabilities and ethnic minorities. |
| PT1.31 | To encourage the development and support the retention of a wide range of local |

services, including shops and community facilities, which are easily accessible to all, including people with disabilities or other mobility handicaps.

Part 2 Policies:

OL1	Green Belt - acceptable open land uses and restrictions on new development
OL4	Green Belt - replacement or extension of buildings
BE8	Planning applications for alteration or extension of listed buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
OE1	Protection of the character and amenities of surrounding properties and the local area
R10	Proposals for new meeting halls and buildings for education, social, community and health services
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **27th October 2010**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Consultation letters were sent to five adjoining owner/occupiers. No responses have been received.

Internal Consultees

CONSERVATION AND URBAN DESIGN OFFICER: The Arena at Stockley Park is a Locally Listed building, which has been missed in the supporting information to this application. However, as there are no external changes proposed to the fabric of the building, or indeed to its setting, no objections are raised to this application.

ACCESS OFFICER: Part IV of the Disability Discrimination Act 1995 legally entitles disabled pupils and students to learn in an environment which is barrier free and where discriminatory practices have been eliminated. No objections are raised subject to conditions to ensure the proposed facility will be fully accessible.

HIGHWAY ENGINEER: Objection. The applicant has failed to demonstrate that the proposed change of use would not have an adverse impact on parking provision across the Stockley Park campus and in the surrounding area.

SUSTAINABILITY OFFICER: No objection subject to an informative to encourage use of sustainable building measures.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application site is located within the Green Belt. PPG 2: Green Belts states that the re-use of buildings inside a Green Belt is not inappropriate development providing:

- (a) it does not have a materially greater impact than the present use on the openness of the Green Belt and the purposes of including land in it;
- (b) strict control is exercised over the extension of re-used buildings, and over any associated uses of land surrounding the building which might conflict with the openness of the Green Belt and the purposes of including land in it (eg because they involve extensive external storage, or extensive hardstanding, car parking, boundary walling or fencing);
- (c) the buildings are of permanent and substantial construction, and are capable of conversion without major or complete reconstruction; and
- (d) the form, bulk and general design of the buildings are in keeping with their surroundings.

The application does not involve any increase in the size of the building. The intensity of the proposed use is commensurate with the approved use.

The buildings are of permanent and substantial construction, and are capable of conversion without major or complete reconstruction.

The form, bulk and general design of the building would not be altered and as such is considered to cause no harm to the surrounding area.

In terms of the demand for the proposed use the applicant has advised that the courses on offer are a specialised and unique selection in combination and are not offered by Brunel University.

Whilst Uxbridge College offers Diplomas in Travel and Tourism, these are only offered at levels 1,2 and 3. The proposed college offers those levels in addition to levels 4 and 5 which are not provided by any other college within Hillingdon Borough.

In addition, the courses offered by Uxbridge College to Tier 4 international students cost between £4,800 to £5,500 per annum. The proposed college will provide courses to Tier 4 international students at costs in the region of £1,500 per annum.

Whilst there is therefore some overlap between courses, the entry qualifications for the proposed college are designed to be less demanding academically to the proposed student demographic and it is envisaged and expected that the target student market will therefore not detract from or provide undue competition with Brunel University or Uxbridge College.

It is argued that there is a clear demand for the courses offered by the proposed college. On completion of their course the students will have gained recognised, professional and specialised qualifications. Courses and management will be accredited by ASIC and monitored by the UKBA.

The applicant has advised that this location has been chosen for their operations, after a lengthy search and selection process, as its position is ideally suited to the location of proposed students within the Borough, and also because of the unique nature of the site, the high quality of accommodation, and the support facilities and amenities on the campus which can be used and enjoyed by the students and staff.

The accommodation was formerly a part of the exhibition/conference/meeting centre at The Arena which was substantially underused, unlet and unoccupied due to the modal shift between traditional live conferences and tele/video/virtual conferencing, between the core commercial and high technology corporate users.

The nature and design of the existing building means that it is already geared up to accommodating the proposed D1 function with very few internal changes save for minor internal partitioning (demountable and non structural) to subdivide the larger exhibition/conference area.

It is acknowledged that the proposal relates to a small part of an existing building, the proposal would not result in the loss of a valuable facility associated with the use of the adjoining Green Belt land.

The applicant has advised that this part of the building formerly provided conferencing facilities for up to 100 people. The proposal would not, therefore, lead to an intensification of the use of the site. In addition, no alterations would be made to the external appearance of the building. Accordingly, it would have no impact on the openness or on the visual amenities of the surrounding Green Belt. In addition, the applicant has confirmed that there is a clear demand for the proposed use in this location and it is considered that the employment and training benefits associated with the proposed use, would be complimentary to the wider Stockley Business Park.

Policy R10 of the UDP states that the Local Planning Authority will regard proposals for new buildings for education as acceptable in principle subject to the other policies of the plan. Given the relatively minor nature of the proposal, that it would have no visual impact on the surrounding area, and the associated employment and training benefits, on balance, it is considered that sufficient reason exists to allow the proposal in this location in this instance. Accordingly, no objections are raised to the principle of the development, subject to the development meeting other site specific criteria.

7.02 Density of the proposed development

Not applicable to this application

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The Arena is designated as a locally listed building. However, no external changes are proposed and, accordingly, the proposal would have no impact on its exterior appearance or setting. The Council's Urban Design and Conservation Officer has raised no objections to the scheme. There are no other listed buildings in close proximity of the site.

The site is not located within an Archaeological Priority Area or in/near a Conservation Area or Area of Special Local Character.

7.04 Airport safeguarding

Not applicable to this application

7.05 Impact on the green belt

Whilst the application site is located within the Green Belt no external alterations are proposed. Accordingly, it is not considered that the proposal would have any impact on the openness or visual amenity of this part of the Green Belt.

7.07 Impact on the character & appearance of the area

No external alterations are proposed. Accordingly, the proposal would have no visual impact on the character or appearance of the surrounding area.

7.08 Impact on neighbours

It is not considered that the proposal would have any detrimental impact of the amenity of the occupiers of the nearest residential properties, which are located just under 600m away to the north east, beyond Stockley Park Golf Course.

7.09 Living conditions for future occupiers

Not applicable to this application

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The applicant has advised that students will primarily live within the Borough boundary and the main nodes of occupancy will be Uxbridge, Hillingdon, Hayes, West Drayton and Cowley. It is expected that 75% of students will live within the above named areas, with 15% living within the remainder of the Borough, and 10% may live close to the Borough boundary in the Boroughs of Hounslow and Southall. The site has a Public Transport Accessibility Level (PTAL) of 2 (where 6 is high and 1 is low).

Stockley Park is well served by 3 direct bus routes:

- 350
- A10
- U5

These bus routes run with frequencies varying between 8 and 14 minutes and connect the application site to overground stations at Hayes and Harlington, and West Drayton, to underground stations at Uxbridge and Hillingdon, and to Heathrow Airport. They also pass directly through, and stop within many of the main nodes of student residence (See Appendix 2). Where students live in areas which are not served directly by the 3 bus routes, then there are many interconnects available.

In terms of existing parking management strategies on site, the applicant has advised that the Management company and security staff on site manage the private parking areas, and that strict controls are in place regarding these areas. However, there is no similar possible parking management routines for the public access parking. Whilst signs adjacent to the parking areas closest to The Arena suggest that there is, at least, some element of control over parking in these areas, to the north west there are large expanses of parking which appear to have no control. The Applicant has advised the following:

"there is a possibility that any students which have access to cars, and choose to break the College disciplinary policy travelling to the site in a car may park there."

In this case it would not be possible to control students parking in the unrestricted areas.

Whilst the applicant's argument that students attending the college would be unlikely to drive to the site and so would not result in a significant increase in parking, and that the college would have strict policies in place to deter students from travelling by private car, is noted, concerns are nevertheless raised that in practice some students would travel to the site by car. The applicant suggests that most students would not possess UK driving licenses, however, many may own foreign driving licences which would allow them to drive in this country. In addition, it is difficult to see how college policies regarding this issue would be enforced, particularly given that there are unrestricted areas of parking close by.

Officers note that the current unrestricted parking serves the gymnasium, wine bar and other uses in the Arena. The applicant has not done any form of assessment of existing usage of the unrestricted parking.

No Transport Assessment has been submitted with the application and therefore, the

availability of parking across the Stockley Park Campus is unknown. Given that there are large areas of uncontrolled parking, concern is raised that, if students choose to park at Stockley Park, this could increase pressure for car parking across the campus and result in a significant increase in on-street parking in the surrounding area, to the detriment of highway and pedestrian safety. A reason for refusal is recommended on this basis.

7.11 Urban design, access and security

Not applicable to this application

7.12 Disabled access

The Design and Access Statement confirms that the proposal will comply with Part M of the Building Regulations and relevant criteria within the Disability Discrimination Act. Level or ramped access would be provided and doors, common areas, lifts, lighting and WCs would be capable of being used by ambulant disabled persons and wheelchair users.

Reception counters and other general access furniture would be set at a suitable height for wheelchair users. In addition, a management routine for evacuation of disabled persons in the event of a fire, or other evacuation reasons, would be put in place.

The Council's Access Officer has raised no objections to the proposal, subject to relevant conditions to ensure the proposed use is fully accessible, should approval be granted.

7.13 Provision of affordable & special needs housing

Not applicable to this application

7.14 Trees, landscaping and Ecology

No alterations would be made to the external appearance of the building or to its landscape setting. Accordingly, there would be no impact on existing trees or landscaping as a result of the proposal.

7.15 Sustainable waste management

Given that this is a commercial development, the site occupiers ultimately have discretion over which waste management methods are used.

The applicant has advised that refuse is currently stored on site within a designated storage compound. All refuse is stored in proper containers being either plastic wheeled bins or metal wheeled bins as appropriate. Separate and clearly marked containers are provided for recycling, in accordance with the Council's recycling separation and collection policy.

A commercially sized refuse compactor is provided within the compound and a waste management company remove the compacted refuse once every four weeks. Separate arrangements are made by the Centre Management for the collection of recycled waste.

All tenants are encouraged by the centre management company to recycle waste in the facilities provided within the refuse area, and this will apply to the applicant.

The applicant will collect their refuse and will be responsible for primary sorting and deposition of the waste in accordance with the refuse sorting facilities provided within the refuse compound.

These details are considered sufficient to demonstrate that waste, including recycling, from the premises would be appropriately handled. Given that arrangements for waste are set by the Arena Management Company and are already established, and are therefore, not within the applicant's overall control, it is not considered that any further information is required on this matter.

7.16 Renewable energy / Sustainability

The applicant has confirmed that the premises would be let on a short term lease (extendable beyond 5 years by agreement with the landlord), and that the lease payments include water, gas and electricity, all output in terms of surface water discharge and foul sewerage disposal through mains drainage.

Consultation with the Landlords on site management team confirm that the premises are already fitted with low energy lighting and the mechanical services are controlled via a computer based energy management optimising system. The electricity meters were replaced last year and are capable of printing out energy consumption, periodic consumption and other statistical information.

The application floor area is for 380m² and the wing of the building in which the premises are located has a floor area of a further (approximately) 1400m². The applicant has no access to these areas and is unable to comment upon their current use, or affect future use or sustainability matters.

The Council's Sustainability Officer has raised no objections to the scheme on this basis.

7.17 Flooding or Drainage Issues

The proposal would not lead to any increase in flooding at the site or in the surrounding area over and above the existing use of the site.

7.18 Noise or Air Quality Issues

It is not considered that proposal would lead in any significant increase in noise or impacts on air quality. The nearest residential properties are located a considerable distance away and, accordingly, the proposal would have no impact on the amenity of the occupiers of those properties in terms of noise or air quality.

7.19 Comments on Public Consultations

None received.

7.20 Planning obligations

There is no requirement for planning obligations relating to this proposal.

7.21 Expediency of enforcement action

Not applicable to this application

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

Not applicable to this application

10. CONCLUSION

PPG 2: Green Belts states that the reuse of a building is not inappropriate development in certain circumstances. Given the historical use of the site as B1 offices, and that no external alterations are proposed to the existing building, the scheme is considered to meet the circumstances set out in PPG 2. No objections are raised to the principle of the development.

However, concern is raised that potential parking from students attending the college cannot be appropriately managed and restricted and could, therefore, have an adverse impact on existing parking arrangements at Stockley Park, leading to an unacceptable increase in on-street parking in the surrounding area to the detriment of highway and pedestrian safety.

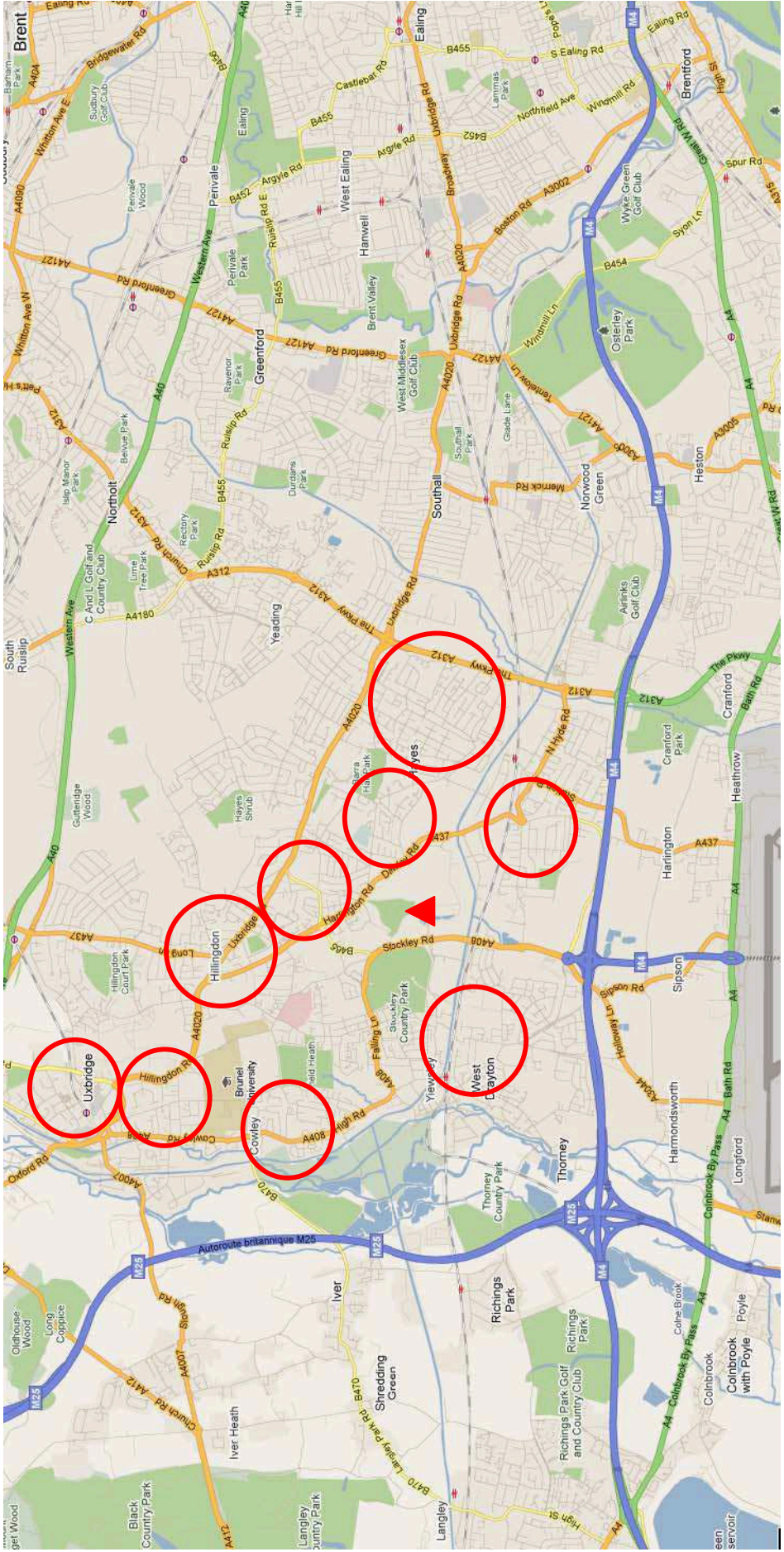
Accordingly, the proposal is considered to be contrary to policy AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to the Hillingdon's Adopted Parking Standards and refusal is recommended.

11. Reference Documents

Hillingdon Unitary Development Plan Saved Policies (September 2007)
London Plan (Consolidated with Alterations since 2008)
Planning Policy Statement 1: Delivering Sustainable Development
Planning Policy Guidance 2: Green Belts
Planning Policy Guidance 13: Transport
Council's Supplementary Planning Document on Accessibility

Contact Officer: Johanna Hart

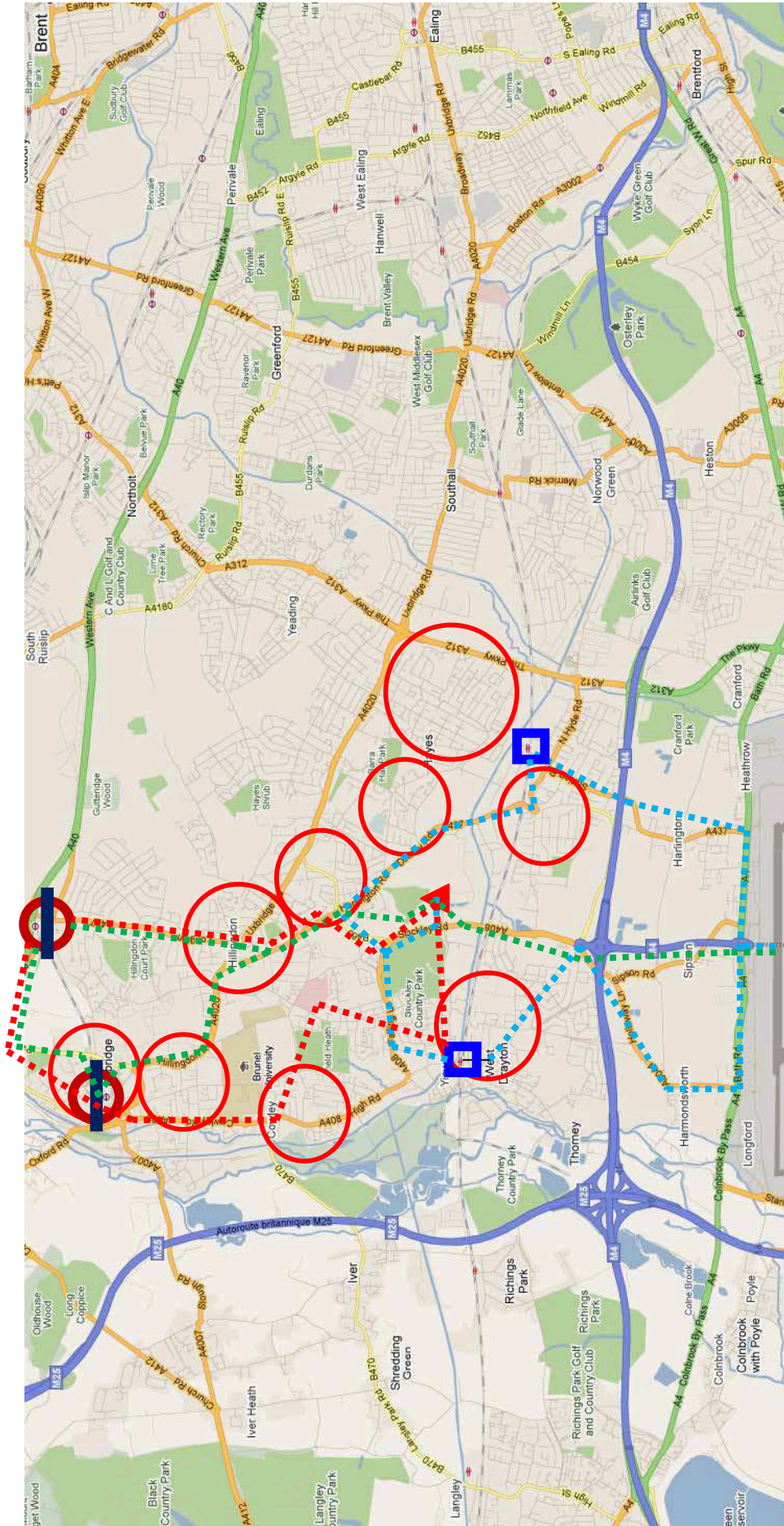
Telephone No: 01895 250230



-  Application Site
-  Student Residential Area

MAP NO 1: STUDENT RESIDENTIAL LOCATIONS

The London College of Theology – D1 Use Class Change of Use Application - 37800/APP/2010/1669
 The Arena, Stockley Park, Uxbridge, UB11 1AA – Supplementary Application Statement



- ▲ Application Site
- Student Residential Area
- Route 350
- Route A10
- Route U5
- Overground Stn
- Overground Stn

Interconnecting Bus Routes are shown on Map No 3

The London College of Theology – D1 Use Class Change of Use Application - 37800/APP/2010/1669
 The Arena, Stockley Park, Uxbridge, UB11 1AA – Supplementary Application Statement

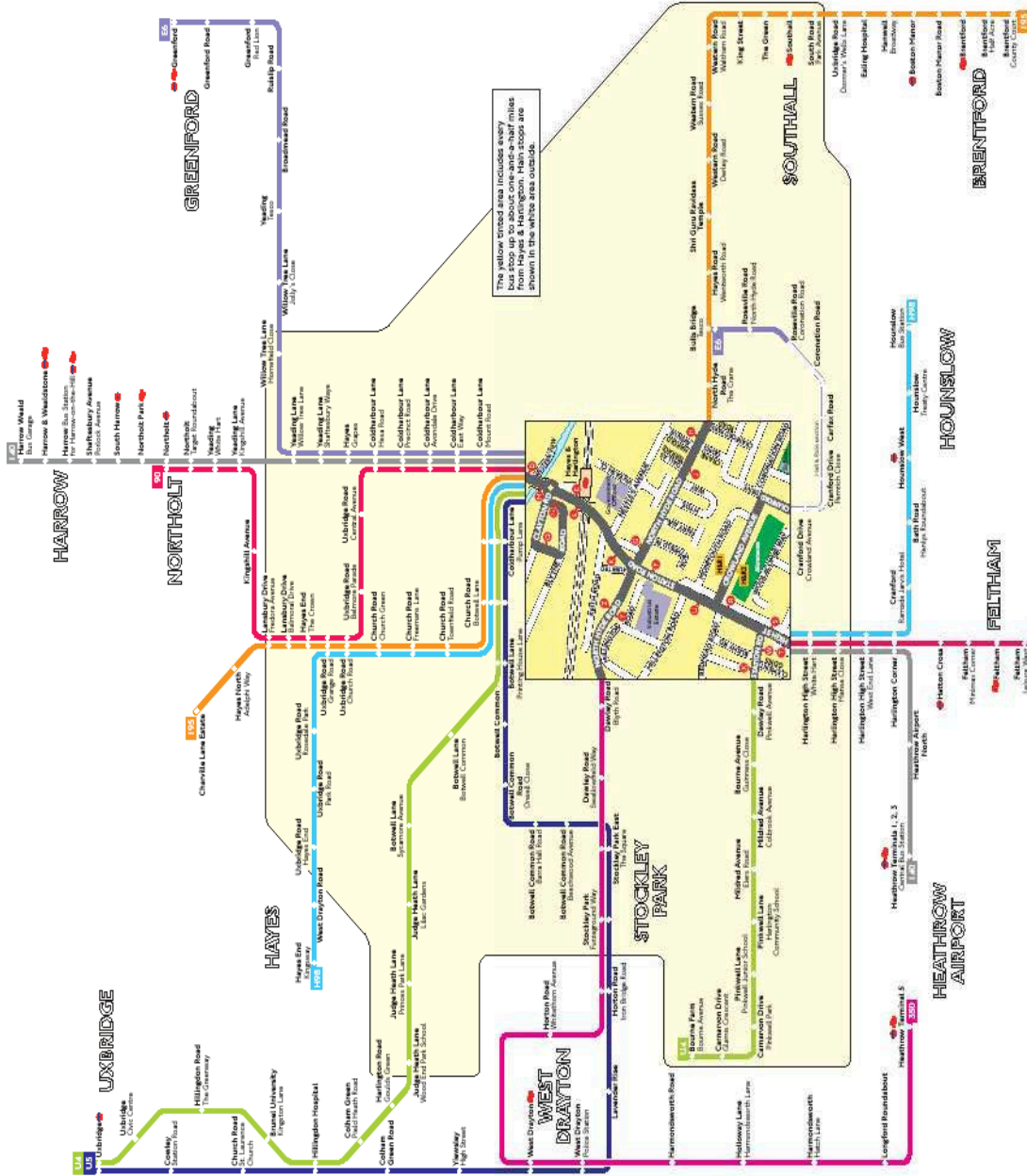
MAP NO 2: STUDENT RESIDENTIAL LOCATIONS AND DIRECT BUS ROUTES TO STOCKLEY PK

Buses from Hayes & Harlington

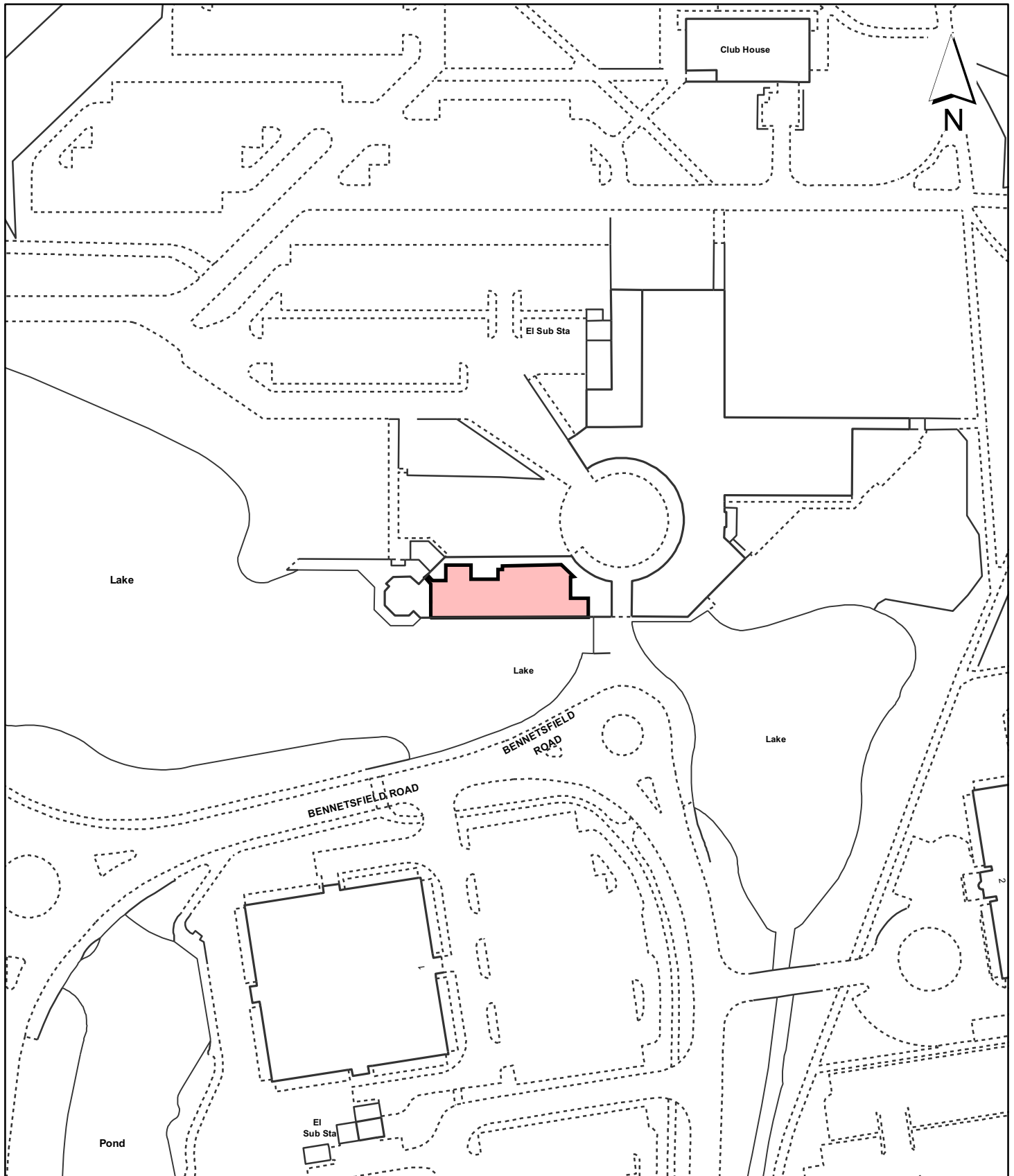
Route finder



Day buses including 24-hour routes

Bus route	Towards	Bus stops
90	Feltham	E F R S
	Northolt	X L M U
140	Harrow Weald	X L M U
	Heathrow Terminals 1,2,3	X L M U
195	Brentford	E F R S
	Charville Lane Estate	E F R S
350	Heathrow Terminal 5	J K L V
E6	Bulls Bridge	E F H R I
	Greenford	X L M U
H98	Hounslow	X L M U
	Bourne Farm	E F R S
U4	Uxbridge	E F R S
	Uxbridge	X L M U
U5	Uxbridge	X L M



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	<p>Planning Application Ref:</p> <p>37800/APP/2010/1669</p>	<p>Scale</p> <p>1:1,250</p>	 <p>HILLINGDON LONDON</p>
	<p>Planning Committee</p> <p>Central and South</p>	<p>Date</p> <p>November 2010</p>	

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Report of the Head of Planning & Enforcement Services

Address BRUNEL UNIVERSITY KINGSTON LANE HILLINGDON
Development: Erection of a galvanised/timber framed compound to house 2 external chillers

LBH Ref Nos: 532/APP/2010/1964

Drawing Nos: 5247-L(00)02 P1 - Site Plan
5247-L(1-)11 P1 - Chillers Compound Elevation and Section Design and Access Statement
Drawing Issue Sheet
5247-L(1-)10 P2 - Chillers Compound Plans

Date Plans Received: 20/08/2010 **Date(s) of Amendment(s):** 20/08/2010
Date Application Valid: 27/08/2010 27/08/2010

1. **SUMMARY**

Planning permission is sought for the erection of a compound to house 2 chiller units. The proposal would not harm the character and visual amenities of the Green Belt or the surrounding area generally. Furthermore, it would not result in a significant increase in noise and disturbance.

2. **RECOMMENDATION**

APPROVAL subject to the following:

1 T8 **Time Limit - full planning application 3 years**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 OM1 **Development in accordance with Approved Plans**

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 NONSC **Non Standard Condition**

The rating level of noise emitted from the plant and/or machinery hereby approved shall be at least 5 dB below the existing background noise level. The noise levels shall be determined at the nearest residential property. The measurements and assessment shall be made in accordance with British Standard 4142 "Method for rating industrial noise

affecting mixed residential and industrial areas".

REASON

To safeguard the amenity of the surrounding area in accordance with policy OE1 of the Hillingdon Unitary Development Plan.

INFORMATIVES

1 152 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 153 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

OL4	Green Belt - replacement or extension of buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
OE1	Protection of the character and amenities of surrounding properties and the local area
PPG2	Green Belts

3 11 **Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 13 **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

5 16 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

6 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

7 146 Renewable Resources

To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO₂) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.

8 151 Notification of Commencement of Works

Written notification of the intended start of works shall be sent to Planning & Community Services, London Borough of Hillingdon, Civic Centre, High Street, Uxbridge, UB8 1UW at least seven days before the works hereby approved are commenced.

3. CONSIDERATIONS

3.1 Site and Locality

Brunel University comprises a total of approximately 70 ha (170 acres). The Campus is split between five sites, with the majority of built development on Sites 1 and 2. Intensive sporting facilities are provided on Site 3 while Site 5 consists of playing fields. Site 4, to the south of Sites 1 and 2, was recently acquired by Brunel University. Site 2 comprises 26 hectares (65 acres) and is the most densely developed part of the campus. It consists of a series of buildings of varying heights and footprints, within a parkland setting,

comprising a mix of academic space and residential uses. In terms of its built environment, the University is centred around a central core including the Central Lecture Block, Library and Students Union (Central Services Building). This part of the campus has been the historic focus of the University. The Campus is designated as a Major developed Site within the Green Belt.

Tower Block A, the application building, is located on site 1 and comprises a series of c1970 buildings used as Engineering Workshops. The buildings comprise external concrete frames with glazing.

3.2 Proposed Scheme

Planning permission is sought for the erection of a compound enclosure to house two chiller units. The proposed compound would be located within the courtyard area of Tower Block A, adjacent to the main workshop.

The chiller units would each measure 2.24m x 0.9m x 2.1m and would sit on concrete plinths. The compound would comprise of galvanised steel columns bolted to a concrete strip foundation and in-filled with vertical Cedar cladding panels fixed to a galvanised steel frames. The overall size of the structure would be 3.2m wide, 7m deep and 2.4m high, and it would be attached to the elevations of the building.

3.3 Relevant Planning History

Comment on Relevant Planning History

There is an extensive planning history relating to this site, none of which is specifically relevant to this proposal.

4. Planning Policies and Standards

See relevant section below.

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

OL4	Green Belt - replacement or extension of buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
OE1	Protection of the character and amenities of surrounding properties and the local area
PPG2	Green Belts

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

2 nearby properties and the Ickenham Residents' Association have been consulted. No comments have been received.

Metropolitan Police Crime Design Advisor
No objection.

Internal Consultees

Environmental Protection Unit:

If this planning application is approved, please ensure the following condition is applied:

Noise affecting residential property:

The rating level of noise emitted from the plant and/or machinery hereby approved shall be at least 5 dB below the existing background noise level. The noise levels shall be determined at the nearest residential property. The measurements and assessment shall be made in accordance with British Standard 4142 "Method for rating industrial noise affecting mixed residential and industrial areas".

REASON

To safeguard the amenity of the surrounding area in accordance with policy OE1 of the Hillingdon Unitary Development Plan.

Sustainability Officer
No objection.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Brunel University is an established educational complex; development of which has been established by the site's identification as a major development site for the purposes of Annex C of PPG2.

7.02 Density of the proposed development

This is not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

This is not applicable to this application.

7.04 Airport safeguarding

This is not applicable to this application.

7.05 Impact on the green belt

The proposed development would be screened by the existing buildings and will not be visible from public vantage points. As such, it would not harm the visual amenities of the Green Belt by reason of siting, materials, design or appearance. As such the proposals would be in accordance with policy OL4 of the Adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

7.07 Impact on the character & appearance of the area

The proposed development would relate satisfactorily with the appearance of the existing building and the complex as a whole. It would not be visible from the public domain and as such, the proposed development is not considered to harm the character and appearance of the surrounding area, in accordance with policies BE13, BE15 and BE19 of the adopted

Hillingdon Unitary Development Plan Saved Policies (September 2007).

7.08 Impact on neighbours

There are no residential properties nearby that would be adversely affected by the proposed development.

7.09 Living conditions for future occupiers

This is not applicable to this application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The siting of the proposed development will not result in the loss of off-street parking.

The area is not used (or required by condition on any earlier consent) for unloading, or for manoeuvring area for vehicles. No objection is raised in terms of traffic or parking.

7.11 Urban design, access and security

The application was referred to the Metropolitan Police Crime Design Advisor who raised no objection to the scheme. The proposal does not involve access to members of the public.

7.12 Disabled access

No access to the plant area is to be provided for members of the public, and given the small scale and nature of the proposal; no objection is raised in terms of disabled access.

7.13 Provision of affordable & special needs housing

This is not applicable to this application.

7.14 Trees, landscaping and Ecology

The proposal would not result in the loss of trees or greenery.

7.15 Sustainable waste management

This is not strictly applicable to this application. The scheme does not involve any inherent waste generating activities, no objection is raised.

7.16 Renewable energy / Sustainability

This is not applicable to this application.

7.17 Flooding or Drainage Issues

This is not applicable to this application.

7.18 Noise or Air Quality Issues

The Environmental Health Officer considers that the proposed chiller units are unlikely to result in a significant increase in noise and disturbance. However a noise level condition has been recommended. Subject to this condition, the proposal would comply with policy OE1 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

7.19 Comments on Public Consultations

No third party comments have been received.

7.20 Planning obligations

This is not applicable to this application.

7.21 Expediency of enforcement action

This is not applicable to this application.

7.22 Other Issues

There are no other relevant issues.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

This is not applicable to this application.

10. CONCLUSION

The proposal would comply with relevant policies, it would not be visible from any near by residential properties. Subject to conditions, planning permission is recommended.

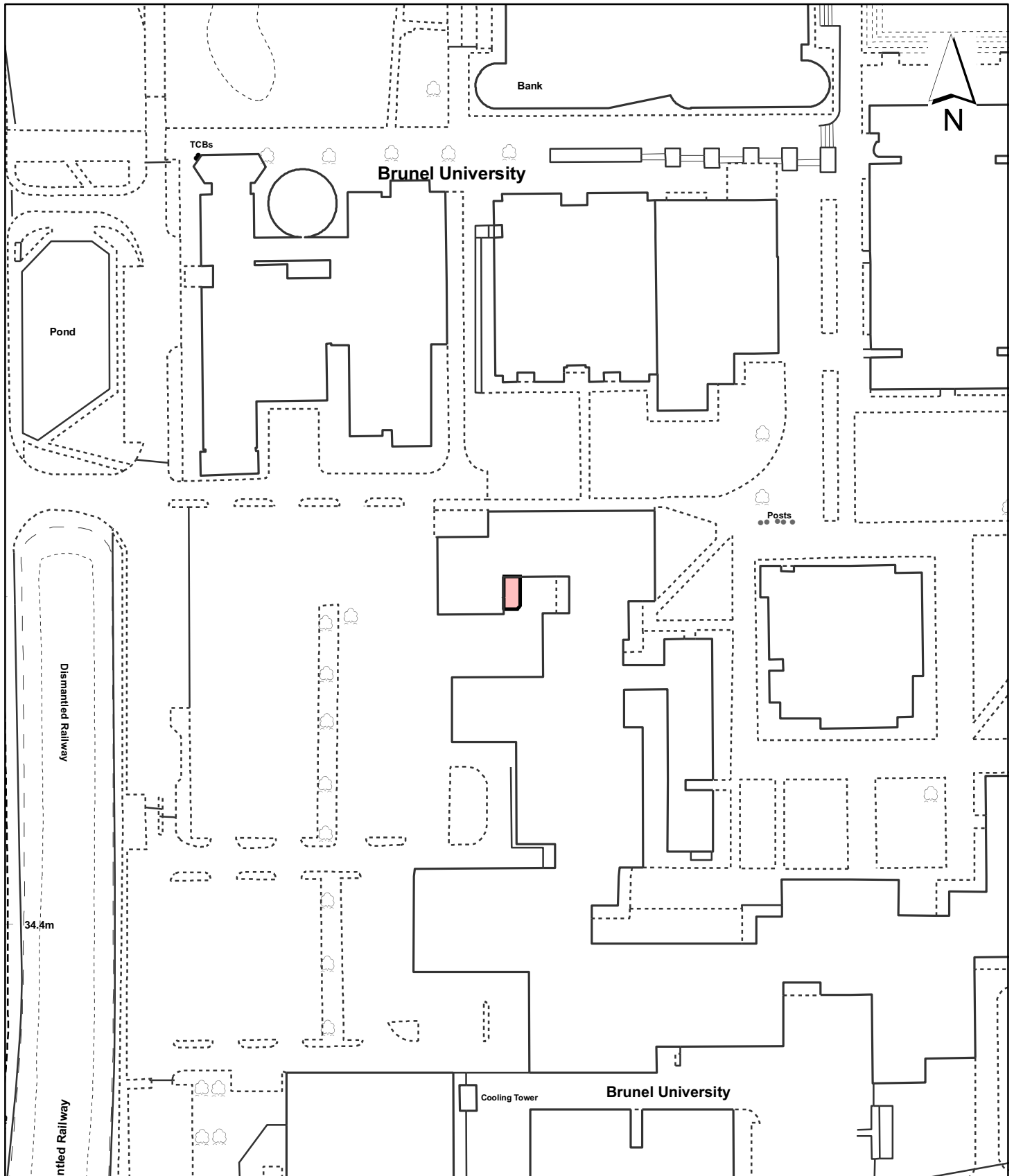
11. Reference Documents

PPG2


Adopted Hillingdon Unitary Development Plan Saved Policies (September 2007)

Contact Officer: Sonia Bowen

Telephone No: 01895 250230



Notes

 Site boundary

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Site Address

**Brunel University
Kingston Lane
Hillingdon**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

532/APP/2010/1964

Scale

1:1,250

Planning Committee

Central and South

Date

**January
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address 20 PIELD HEATH ROAD HILLINGDON

Development: Change of use from Class C3 (residential) to Class D1 for use as medical centre and single storey rear/side extension.

LBH Ref Nos: 21661/APP/2010/1716

Drawing Nos: 10/293/01
10/293/02
10/293/04 REV A
Design and Access Statement
Planning Statement
10/293/03 REV B
10/293/11 REV B

Date Plans Received: 20/07/2010 **Date(s) of Amendment(s):** 20/07/2010
Date Application Valid: 02/08/2010 28/07/2010
02/08/2010
29/10/2010

1. SUMMARY

The application seeks the change of use of the existing residential property (Use Class C3) to a GP surgery (Use Class D1) in addition to a single storey side/rear extension. The applicant has formally requested that should planning permission be granted the Use Class of the site be limited specifically to a GP Surgery within Use Class D1 and the application should be considered on this basis.

The policy matters in this case are finely balanced, however having regard to all relevant material matters it is considered that the principle of the development is acceptable in accordance with Policy R15 of the Saved Policies UDP.

The proposed extensions would maintain an acceptable relationship with the neighbouring residential property and subject to conditions it is not considered that the proposed use would have an unacceptable impact on the amenity of the neighbouring residential occupiers.

The extensions would also attain an appropriate appearance harmonising with the existing building and street scene and the proposal would retain the important landscaping along the site frontage.

Subject to conditions the proposal would achieve an appropriate level of inclusive and sustainable design.

The Council's Highways Officer is satisfied that the level of parking proposed for the medical centre is adequate and that the layout is acceptable in terms of pedestrian and highways safety.

Overall, the application is considered acceptable and recommended for approval subject to conditions.

2. RECOMMENDATION

APPROVAL subject to the following:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 M2 External surfaces to match existing building

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 MCD16 Restriction to Use Applied For

Notwithstanding the provisions of the Town & Country Planning (Use Classes) Order 1987 and the Town and Country Planning (General Permitted Development) Order 1995 (or any orders revoking and re-enacting either of these orders with or without modification), the land and/or building(s) shall be used only for the purpose of a GP Surgery and for no other purpose including any other purpose within Use Class D1 of the Town and Country Planning Use Classes Order 1987

REASON

To enable the Local Planning Authority to retain control over the use so as to ensure that it complies with policies AM7, AM14, OE1 and OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 M5 Means of Enclosure - details

Before the development is commenced, details of boundary fencing or other means of enclosure shall be submitted to and approved in writing by the Local Planning Authority. The approved means of enclosure shall be erected before the development is occupied and shall be permanently retained thereafter.

REASON

To safeguard privacy to adjoining properties in accordance with Policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 TL1 Existing Trees - Survey

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Species, position, height, condition, vigour, age-class, branch spread and stem diameter of all existing trees, shrubs and hedges on and immediately adjoining the site.
- (ii) A clear indication of trees, hedges and shrubs to be retained and removed.
- (iii) Existing and proposed site levels.
- (iv) Routes of any existing or proposed underground works and overhead lines including their manner of construction.

(v) Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees and other vegetation to be retained during construction work.

REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

6 TL2 Trees to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

7 TL3 Protection of trees during site clearance and development

Prior to the commencement of any site clearance or construction work, detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and
5. No drain runs or other trenches shall be dug or otherwise created, without the prior

written consent of the Local Planning Authority.

REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

8 TL5 Landscaping Scheme - (full apps where details are reserved)

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

9 TL6 Landscaping Scheme - implementation

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period.

The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

10 TL7 Maintenance of Landscaped Areas

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

REASON

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

11 NONSC Hours of Use & Deliveries

No persons other than staff shall be permitted to be on the premises and the premises shall not be used for the delivery and loading or unloading of goods at any time on Saturdays, Sundays, Bank or Public Holidays or between the following hours on weekdays:

Monday - 1800 and 0800
Tuesday - 1900 and 0800
Wednesday - 1300 and 0730
Thursday - 1900 and 0800
Friday - 1800 and 0800

REASON

To ensure that the amenity of the occupiers of adjoining or nearby properties is not adversely affected in accordance with Policies OE1 and OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

12 NONSC Plant Machinery

The rating level of noise emitted from any plant and/or machinery on the site shall be at least 5 dB below the existing background noise level. The noise levels shall be determined at the nearest residential property. The measurements and assessment shall be made in accordance with British Standard 4141 "Method for rating industrial noise affecting mixed residential and industrial areas".

REASON

To safeguard the amenity of the surrounding area and nearby occupiers in accordance with Policies OE1 and OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

13 NONSC Acoustic Fence

No development shall take place until details of an acoustic fence on the boundary with number 1 Field Heath Avenue have been submitted to, and approved in writing by, the Local Planning Authority. The acoustic fence shall be installed in accordance with the approved details prior to commencement of the use hereby permitted and retained/maintained for the life of the development.

REASON

To ensure that the amenity of the occupiers of adjoining or nearby properties is not adversely affected in accordance with Policies OE1 and OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

14 NONSC Gate - Emergency Access Only

No development shall take place until details of the gate adjacent to no.1 Pield Heath Avenue on drawing 10/293/11 Rev B have been submitted to, and approved in writing by the Local Planning Authority. The gate shall be installed in accordance with the approved details prior to commencement of the use hereby approved. Thereafter the gate shall remain locked except in emergencies and shall be permanently retained/maintained for the the life of the development.

REASON

To ensure vehicular movements do not prejudice the amenity of the neighbouring occupier and to ensure the gate has an appropriate appearance within the street scene in accordance with Policies BE13, OE1 and OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

15 H16 Cycle Storage - details to be submitted

No part of the development hereby permitted shall be commenced until details of covered and secure cycle storage for a minimum of 4 cycles have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details prior to the occupation of the development and thereafter permanently retained.

REASON

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan (February 2008).

16 MCD10 Refuse Facilities

No development shall take place until details of facilities to be provided for the separate, covered, appropriately sign posted, secure and screened storage of refuse, recycling and clinical waste at the premises have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.

REASON

In order to safeguard the amenities of the area, in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policy 4B.1.

17 H11A Visibility Splays

Unobstructed sight lines above a height of 1 metre shall be maintained where possible on both sides of the entrance to the site, for a distance of at least 2.4m in both directions along the back edge of the footway or verge.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

18 H13 Installation of gates onto a highway

No gates shall be installed which open outwards over the highway/footway.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM3 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

19 H5 Sight Lines - submission of details

The development hereby permitted shall not be commenced until details of the sight lines at the point of the vehicular access to the highway have been submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied until the approved sight lines have been implemented and thereafter, the sight lines shall be permanently retained and kept clear of obstructions exceeding 0.6 metres in height.

REASON

To ensure that adequate sight lines are provided and thereafter retained in the interests of highway safety in accordance with Policy AM7 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

20 H6 Car parking provision - submission of details

The development hereby approved shall not be commenced until details of the parking arrangements have been submitted to and approved in writing by the Local Planning Authority; and the development shall not be occupied until the approved arrangements have been implemented. Disabled parking bays shall be a minimum of 4.8m long by 3.6m wide, or at least 3.0m wide where two adjacent bays may share an unloading area.

REASON

To ensure that adequate facilities are provided in accordance with Policies AM14, AM15 and the parking standards as set out in the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

21 DIS1 Facilities for People with Disabilities

All the facilities designed specifically to meet the needs of people with disabilities that are shown on the approved plans shall be provided prior to the occupation of the development and thereafter permanently retained.

REASON

To ensure that adequate facilities are provided for people with disabilities in accordance with Policy AM13 and R16 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policies 4B.1 and 4B.5.

22 NONSC Additional Disability Measures

No development shall commence until details of additional measures to meet the needs of people with disabilities have been submitted to, and approved in writing by, the Local Planning Authority. The additional measures shall include but not be limited to:

- (i) The provision of level access to entrances;
- (ii) A revised layout for the accessible WC; and
- (iii) Details of a 300mm clear space adjacent to the leading edge of each door.

Thereafter, the development shall be implemented in accordance with the approved details.

REASON

To ensure that adequate facilities are provided for people with disabilities in accordance with Policy AM13 and R16 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policies 4B.1 and 4B.5.

23 SUS6 Green Travel Plan

Prior to the commencement of the development hereby permitted a Travel Plan shall be submitted to and approved in writing by the Local Planning Authority. The Travel Plan, as submitted shall follow the current Travel Plan Development Control Guidance issued by Transport for London and will include:

- (1) targets for sustainable travel arrangements [insert desired for target(s)];
- (2) effective measures for the ongoing monitoring of the Travel Plan;
- (3) a commitment to delivering the Travel Plan objectives; and
- (4) effective mechanisms to achieve the objectives of the Travel Plan by both present and future occupiers of the development.

The development shall be implemented only in accordance with the approved Travel Plan.

REASON

To promote sustainable transport and reduce the impact of the development on the surrounding road network in accordance with Policies 3C.1, 3C.2 and 3C.3 of the London Plan (February 2008).

24 OM14 Secured by Design

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures shall be submitted and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 4B.1 and 4B.6 of the London Plan.

25 OM19 Construction Management Plan

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (ii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iii) Measures to prevent mud and dirt tracking onto footways and adjoining roads

(including wheel washing facilities).

(iv) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).

(v) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.

(vi) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

26 OM2 Levels

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

27 OM11 Floodlighting

No floodlighting or other form of external lighting shall be installed unless it is in accordance with details which have previously been submitted to and approved in writing by the Local Planning Authority. Such details shall include location, height, type and direction of light sources and intensity of illumination. Any lighting that is so installed shall not thereafter be altered without the prior consent in writing of the Local Planning Authority other than for routine maintenance which does not change its details.

REASON

To safeguard the amenity of surrounding properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

28 SUS5 Sustainable Urban Drainage

No development shall take place on site until details of the incorporation of sustainable urban drainage have been submitted to, and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed on site and thereafter permanently retained and maintained.

REASON

To ensure that surface water run off is handled as close to its source as possible in compliance with policy 4A.14 of the London Plan (February 2008) /if appropriate/ and to ensure the development does not increase the risk of flooding contrary to Policy OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), policies 4A.12 and 4A.13 of the London Plan (February 2008) and PPS25.

29 SUS8 Electric Charging Points

Before development commences, plans and details of 1 electric vehicle charging point(s), serving the development and capable of charging multiple vehicles simultaneously, shall be submitted to and approved in writing by the Local Planning Authority.

REASON

To encourage sustainable travel and to comply with London Plan Policy 4A.3.

30 SUS2 Energy Efficiency Major Applications (outline where energy s

No development shall take place on site until an energy efficiency report has been submitted to, and approved in writing by the Local Planning Authority. The energy efficiency report shall demonstrate how the Mayors Energy Hierarchy will be integrated into the development, including a full assessment of the site's energy demand and carbon dioxide emissions, measures to reduce this demand and the provision of 20% of the sites energy needs through on site renewable energy generation. The methods identified within the approved report shall be integrated within the development and thereafter permanently retained and maintained.

REASON

To ensure that the development incorporates appropriate energy efficiency measures in accordance with policies 4A.1, 4A.3, 4A.4, 4A.6, 4A.7, 4A.9, and 4A.10 of the London Plan (February 2008).

31 NONSC CCTV

Prior to development commencing, the applicant shall submit details of CCTV and lighting systems for the site. The approved details shall be installed prior to first occupation of any part of the development hereby approved and thereafter permanently maintained.

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, and to reflect the guidance contained in Circular 5/94 'Planning Out Crime' and the Council's SPG on Community Safety By Design.

32 NONSC No satellite dishes/antennae

Notwithstanding the provisions of Schedule 2, Part 25 of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no satellite dishes or antennae shall be installed on the building hereby approved.

REASON

To enable the Local Planning Authority to assess all the implications of the development and in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
H2	Restrictions on changes of use of residential properties
H3	Loss and replacement of residential accommodation
R15	Use of residential accommodation for medical/health care facilities
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM1	Developments which serve or draw upon more than a walking distance based catchment area - public transport accessibility and capacity considerations
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM6	Measures to discourage the use of Local Distributor and Access Roads by through traffic
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities

3 11 **Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 115 **Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

5 123 **Works affecting the Public Highway - Vehicle Crossover**

The development requires the formation of a vehicular crossover, which will be constructed by the Council. This work is also subject to the issuing of a separate licence to obstruct or open up the public highway. For further information and advice contact: - Highways Maintenance Operations, 4W/07, Civic Centre, Uxbridge, UB8 1UW.

6 13 **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

7 143 **Keeping Highways and Pavements free from mud etc**

You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or

adequately clear it away could result in action being taken under the Highways Act 1980.

8 147 Damage to Verge

You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

9 125 Consent for the Display of Adverts and Illuminated Signs

This permission does not authorise the display of advertisements or signs, separate consent for which may be required under the Town and Country Planning (Control of Advertisements) Regulations 1992. [To display an advertisement without the necessary consent is an offence that can lead to prosecution]. For further information and advice, contact - Planning & Community Services, 3N/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250574).

10 19 Community Safety - Designing Out Crime

Before the submission of reserved matters/details required by condition 24, you are advised to consult the Metropolitan Police's Crime Prevention Design Advisor, Planning & Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel. 01895 250538).

11

The applicant is encouraged to discuss with Council officers in conjunction with the Metropolitan Police Crime Prevention Officer whether on site CCTV cameras can be linked to the Councils central CCTV system.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises a residential property located at 20 Pield Heath Road, Hillingdon. The curtilage of the property is physically divided by a hedge into two distinct planning units. The eastern part contains a single storey dwelling and is set out as a traditional residential curtilage with a vehicular access from Pield Heath Avenue. The western part is set to hard standing and contains a collection of single storey buildings which has a separate access from Pield Heath Road, this appears to have been utilised in the past as a builders yard or similar however a history search has revealed no planning history and the site appears to have been vacant for a significant period of time.

The site benefits from a substantial landscape screen in the form of trees and hedgerow along its boundary with Pield Heath Road and at the junction with Pield Heath Avenue.

To the north the site adjoins a residential property at no. 1 Pield Heath Avenue, to the east a Bed and Breakfast is located on the opposite site of Pield Heath Avenue, and to the west lies the an Officer for a building contractors at no. 24 Pield Heath Road. To the south east an area privately owned open land is located on the opposite side of Pield Heath Road which is within the designated Green Belt and to the south west is soft landscaping and residential properties on Greatfields Drive.

The application site is designated as developed land within the Saved Policies UDP.

3.2 Proposed Scheme

The application seeks the change of use of the an existing residential property (Use Class C3) to a GP surgery (Use Class D1) in addition to a single storey side/rear extension. The applicant has formally requested that should planning permission be granted the Use Class of the site be limited specifically to a GP Surgery within Use Class D1 and the application should be considered on this basis.

The proposed side/rear extension would be single storey and project 7.5m to the east of the existing building, continuing extending the form of the existing gable roof. A second single 7.8m wide storey extension with a gable roof would project 8.5m forward of the existing facade facing Field Heath Road. This would result in an L-shaped building. The extension is proposed to be treated in materials to match the existing building.

The existing site access on Field Heath Road would be utilised as a two-way access providing access to a 6 space (including 1 disabled space) parking area for patients and visitors. The existing access from Field Heath Avenue would serve 3 parking spaces provided for Doctors and staff. A gate is proposed to prevent the use of the road adjacent to no.1 Field Heath Avenue.

Cycle parking for 4 bicycles and refuse storage facilities are also demonstrated within the submission.

Two areas of soft landscaping would be provided to the frontage with Field Heath Road and the existing brick wall, hedging and trees on the site boundaries would be retained. The proposal would necessitate the removal of the internal hedgerow which currently separates the eastern and western parts of the site.

3.3 Relevant Planning History

Comment on Relevant Planning History

None

4. Planning Policies and Standards

- (a) The London Plan
- (b) Planning Policy Statement 1: Delivering Sustainable Development
- (c) Planning Policy Statement: Planning and Climate Change - Supplement to Planning Policy Statement 1
- (d) Planning Policy Statement 3: Housing
- (e) Planning Policy Guidance 13: Transport
- (f) HDAS - Residential Layouts
- (e) Accessible Hillingdon SPD

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

PT1.12 To avoid any unacceptable risk of flooding to new development in areas already

liable to flood, or increased severity of flooding elsewhere.

- PT1.14 To not normally grant planning permission for a change from residential use.
- PT1.30 To promote and improve opportunities for everyone in Hillingdon, including in particular women, elderly people, people with disabilities and ethnic minorities.
- PT1.31 To encourage the development and support the retention of a wide range of local services, including shops and community facilities, which are easily accessible to all, including people with disabilities or other mobility handicaps.
- PT1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

Part 2 Policies:

- BE13 New development must harmonise with the existing street scene.
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- OE1 Protection of the character and amenities of surrounding properties and the local area
- OE3 Buildings or uses likely to cause noise annoyance - mitigation measures
- OE8 Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
- H2 Restrictions on changes of use of residential properties
- H3 Loss and replacement of residential accommodation
- R15 Use of residential accommodation for medical/health care facilities
- R17 Use of planning obligations to supplement the provision of recreation, leisure and community facilities
- AM1 Developments which serve or draw upon more than a walking distance based catchment area - public transport accessibility and capacity considerations
- AM13 AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): -
(i) Dial-a-ride and mobility bus services
(ii) Shopmobility schemes
(iii) Convenient parking spaces
(iv) Design of road, footway, parking and pedestrian and street furniture schemes
- AM14 New development and car parking standards.
- AM15 Provision of reserved parking spaces for disabled persons
- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- AM6 Measures to discourage the use of Local Distributor and Access Roads by

- through traffic
- AM7 Consideration of traffic generated by proposed developments.
- AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **25th August 2010**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

The application was advertised in accordance with the Town and Country Planning Act and 14 nearby owner occupiers, including the Pield Heath Residents Association were consulted directly.

Two letters of objection have been received citing the following concerns:

- (i) Concerns regarding the adequacy of the proposed parking provision, highway and pedestrian safety. In particular in light of the proximity to Hillingdon Hospital; and
- (ii) The area is residential and should remain as such.

PRIMARY CARE TRUST

On behalf of the PCT, I can confirm that there is a clear need to develop and improve primary care facilities in the Hayes End area. This is confirmed in our latest strategic assessment and I am happy to make this available to you.

We are working with Dr Shashikanth exploring possibilities of improving front line services to his patients including relocation of his surgery. At present there are a number of options available including the purchase and development of the site above. We would wish to support Dr Shashikanth but formal support can only be considered once a formal request is received with regard to the proposed development.

HILLINGDON LINK

I am writing in my capacity as Chair of Hillingdon LINK an organisation mandated to the Department of Health to raise issues on behalf of patients and clients of health and social care services in Hillingdon.

The patients of the West London Medical Centre overwhelmingly back the proposal put forward by Dr. Shashikanth to relocate to larger premises in Pield Heath Road. This would enable a far greater range of services to be developed for patients and provide a much better patient experience.

I understand you have queried why the surgery cannot relocate to Laurel Lodge or a redeveloped GP led medical facility at the hospital. Neither scenario is possible in the near future due to circumstances with NHS funding. The models of care are being re-thought, Poly clinics are no longer on the agenda, indeed the closure of Darzai clinic was announced today.

The GP commissioning model now proposed where a range of services can be offered at a cluster of practices, the convenience of the proposed new premises for patients, particularly the old, extra parking and the ability the site will offer to attract new patients all favour granting a change of use.

The staff of the practice do an admirable job in cramped conditions but ultimately a failure to relocate could cause some to leave for a better working environment causing potential disruption to patients.

The most important factor in this process is the willingness of the practise to invest their own funds into the development of the surgery in a climate where funding is restricted and services may well be cut. Any opportunity to improve health services for the good of the residents has to be seized and it is paramount that a favourable decision is reached before the opportunity is lost.

I trust this application will be expedited with a favourable conclusion as soon as possible.

Internal Consultees

HIGHWAYS ENGINEER

The applicant has submitted a variety of information in order to facilitate consideration of highways issues, including opening hours, anticipated patient list size, proposed staff numbers and a modal split transport study.

The information submitted indicates that the level of on-site parking proposed will satisfy the demands of the proposed facility. In addition the highways layout and access arrangements are considered satisfactory in terms of pedestrian and vehicular safety.

There is also adequate space for the provision of cycling facilities for patients and or staff.

No objection is therefore raised to the proposal. However, should the application be approved conditions should be attached to secure implementation of the proposed parking layout, cycle storage, and to require a staff travel plan in order to encourage sustainable modes of travel.

ACCESS OFFICER (Note comments on original plans)

The proposed facility will be subject to the Disability Discrimination Act 1995 because it will provide a service to the public. It should be noted that reasonable adjustments to practices, policies and procedures, auxiliary aids, and physical features will need introducing to ensure that disabled people receive the same level of service.

The following observations are provided:

1. Accessible car-parking bays should be sited within 50m of the entrance. They should be a minimum of 4.8m x 2.4m and marked and signed in accordance with BS 8300.
2. A suitable access route to the building should be provided from the car parking area. Paths forming access routes should be a minimum of 1.2m clear wide, no steeper than 1:20, non-slip, well lit and clearly defined using texture and visual contrasts.
3. Level access and adequate front door width are assumed. If this is not the case, level access should be provided and a minimum door width of 1000mm for a single door.
4. All signage for directions, services or facilities should be provided in a colour contrasting with the background. Signage and lighting levels should be consistent throughout the building and care taken to avoid sudden changes in levels.
5. Corridors should be a minimum of 1200mm wide and internal doors across circulation routes should incorporate a suitable zone of visibility.
6. Internal door widths should provide a minimum clear opening width of 800mm to facilitate adequate access for wheelchair users. Internal doors should also have 300mm unobstructed

space to the side of the leading edge.

7. The accessible WC shown on the proposed floor plan would not be accessible to most wheelchair users due to its inappropriate layout. The facility should be sized and designed in accordance with BS 8300:2009.

8. The accessible toilet should be signed either Accessible WC or Unisex . Alternatively, the use of the wheelchair symbol and the words Ladies and Gentlemen or Unisex would be acceptable.

9. Internal doors should be held open using fire alarm activated magnetic closers whilst the building is in use.

10. Alarm systems should be designed to allow deaf people to be aware of its activation. (Such provisions could include visual fire alarm activation devices, and/or a vibrating pager system.)

11. Provisions should be put in place to ensure that arrangements exist to provide adequate means of escape for all, including wheelchair users. Fire exits should incorporate a suitably level threshold and should open onto level, firm ground.

12. Advice from a suitably qualified Fire Safety Officer concerning emergency egress for disabled people should be sought at an early stage.

Conclusion:

Provided revised plans can be submitted to incorporate the above recommendations, I would have no objection to the proposed development.

TREES & LANDSCAPING OFFICER

Background:

The site is a spacious corner plot occupied by an L-shaped single-storey house, with vehicle access currently via Pield Heath Avenue. The house is set within well-established gardens which are particularly well-screened by ornamental shrubs/hedging from Pield Heath Road. The screen wraps around the corner into Pield Heath Avenue.

ADS drawing No.10/293/11 Rev A indicates a tree, a Common Lime, in the south-east corner of the garden. This tree is off-site within the highway verge and is, therefore not within the control of the developer. No tree survey has been submitted.

There are no Tree Preservation Orders on, or close to, the site, nor does it fall within a designated Conservation Area.

Proposal:

The proposal to change the use from residential to a medical centre, includes the construction of a single-storey rear/side extension. ADS drawing No. 10/293/11 Rev A indicates that the external work will include the loss of vegetation (including at least one tree (not specified) in order to create a new vehicular access point off Pield Heath Road. Existing garden space to the north and west of the building will be sacrificed to provide a car park for visiting patients (6No. off-street spaces and bicycles) and one-way circulation for vehicles which will exit the site from the existing driveway onto Pield Heath Avenue.

Landscape considerations:

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

In this case some tree / hedge loss will result from the proposal. The loss has not been qualified or quantified. However, as indicated on plan, much of the mature landscape and screening will be

retained as part of the proposal.

DCLG / EA guidance requires new driveways in front gardens to be designed and installed in accordance with SUDS principles.

Section 11 of the HDAS Design Guidance (Residential extensions) recommends that 25% of front garden space should be maintained as soft landscape. A significant area of established soft landscape will be retained. There may be space and opportunity to provide some replacement planting.

Provision should be made for the ongoing management and maintenance of the existing landscape, together with the establishment of any new planting.

Recommendation:

No objection subject to conditions TL1, TL2, TL3, TL5, TL6 and TL7.

ENVIRONMENTAL PROTECTION UNIT

No objection subject to the following conditions;

Acoustic Fence

A condition requiring an acoustic fence on the boundary with number 1 Pield Heath Avenue. Details to be submitted and approved. The fence shall be installed prior to the use commencing on site and shall thereafter be maintained.

Hours of use

Please attach a condition restricting the hours of use to those proposed in the applicants email of the 28th of October.

If the applicants are proposing to install any air conditioning or air handling units they will need to comply with the following condition.

N11B Noise affecting residential property

The rating level of noise emitted from the plant and/or machinery hereby approved shall be at least 5 dB below the existing background noise level. The noise levels shall be determined at the nearest residential property. The measurements and assessment shall be made in accordance with British Standard 4142 Method for rating industrial noise affecting mixed residential and industrial areas .

REASON: To safeguard the amenity of the surrounding area in accordance with policy OE1 of the Hillingdon Unitary Development Plan.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policies H2 and H3 of the Saved Policies UDP resist the change of use of residential properties and the loss of residential accommodation which is suitable with or without adaptation for residential use.

Policy R15 of the Saved Policies UDP specifically relates to changes of use from residential accommodation to medical facilities stating:

'Change of use from residential accommodation for medical/health care facilities will only be acceptable where:-

(i) There is a proven need for the facility in the locality and no suitable alternative

premises are available;

(ii) The development is in sympathy with the character and style of the existing street scene, and does not harm the amenity of neighbouring occupiers;

(iii) The Council's adopted car parking standards can be met and where appropriate leave a reasonable garden area;

(iv) Any on-street parking that may be generated can be accommodated without detriment to pedestrian safety and/or the free flow of traffic; and

(v) A residential unit is maintained within the building, unless it can be demonstrated to the satisfaction of the Local Planning Authority that it is impracticable.

Where such premises are no longer needed the Local Planning Authority is unlikely to permit uses other than residential.'

The key policy question is therefore whether the proposal would comply with Policy R15 and each criterion is addressed in turn below.

CRITERION (i)

The Primary Care Trust (PCT) have been consulted and have indicated that there is a clear need to develop and improve primary care facilities in the Hayes End area and that this is confirmed by their latest strategic assessment. Verbal discussions with the PCT have also indicated that the existing facilities of the GP who wishes to relocate to the application site from 198 Harlington Road do not meet all desirable modern standards and acknowledge the benefit of improved facilities for this practice. Accordingly, it is considered that there is a demonstrable need for additional medical facilities of this type in the locality.

Despite being supportive of the principle of improved and additional GP facilities in the locality the correspondence from the PCT indicates that there are a number of options, including the current proposal, which could meet this additional demand and are therefore not willing to offer formal support for the proposal at this stage. The provision of alternative GP facilities within Hillingdon Hospital or at the nearby Laurel Lodge have been indicated in verbal discussions to be options which the PCT feel should be considered. The potential to offer improved or expanded facilities within the existing premises at 198 Harlington Road also needs to be considered.

The applicant has provided information to the Local Planning Authority in order to demonstrate that options not-involving the loss of a residential property are not viable which are discussed in turn below.

The West London Medical Centre at 198 Harlington Road is located within a single storey building to the rear of the residential bungalow at 198a Harlington Road and accessed down the side of this building. The premises does not benefit from any parking facilities. It is considered that there would be extremely limited potential to expand the GP services without the loss of the neighbouring residential property as any additional built form and car parking provision would be severely constrained by the relationship with surrounding policies.

Laurel Lodge is a clinic run by the Hillingdon PCT located in proximity to the application site. The site offers the podiatry (by appointment), speech and language (by appointment), physiotherapy (by referral), physiotherapy out-patients (by referral), district nurse message service, child health administration and school nurses. However it is primarily utilised for administrative and managerial functions. The applicant argues that these functions utilise all available space at the facility, but the verbal suggestion by the

PCT is that the site may provide an alternative. That said, actual evidence before officers indicates that the current level of use at Laurel Lodge is to capacity and in particular car parking is often fully utilised. An additional GP surgery at this location would exacerbate parking issues.

Hillingdon Hospital is also located within a reasonable catchment area of the application site. The Hillingdon Hospital Site is large and it is considered likely that a GP practice of the size proposed could be accommodated within the site without resulting in the loss of a residential property. Locating a GP surgery in such a location would however have a number of implications. In a positive sense there is potential that providing a GP in this location would reduce the number of people who visit the hospitals for general medical problems seeking to resolve these via the accident and emergency department simply because it is closer than their local GP. However, the applicant has put forward that a key part of providing a GP service is providing a comfortable environment for its patients and that relocating to a busy hospital with existing parking problems would result in a substandard arrangement for their patients.

In this case the considerations in respect of criterion (i) of Policy R15 are finely balanced, there are a number of sites which the PCT have indicated may be able to accommodate a facility but each of these would have potential implications on matters of material concern or impact on the quality of service and comfort provided to patients. It should be noted that the PCT have not made a formal objection to the scheme. On balance, it is considered that of the potential options, the application site is likely to provide the most appropriate environment for future patients while minimising detrimental impacts. The need for additional medical facilities within the locality is considered to outweigh the loss of the residential unit in this instance and the proposal is considered to satisfy the criterion.

CRITERION (II)

These issues are discussed elsewhere within the body of this report. In summary the proposal is considered to satisfy this criterion.

CRITERION (III)

The proposals compliance with parking standards is discussed elsewhere within the body of this report. While no residential unit, or associated garden, the proposal does retain the boundary landscaping and a reasonably sized area of soft landscaping to the sites frontage on Pield Heath Road. In summary the proposal is considered to satisfy this criterion.

CRITERION (IV)

Parking issues are discussed within the relevant section of this report. In summary the scheme is considered to satisfy this criterion.

CRITERION (V)

The requirement is that a residential unit is maintained within the building, unless it can be demonstrated that such retention is impracticable. In this instances there is limited available space on site and the residential property is only single storey. The provision of an acceptable standard of residential unit on site (provided with sufficient internal floorspace, external amenity space and car parking) would place significant constraints on the scheme. It not considered that such a unit could be provided alongside a GP surgery of an appropriate size and standard to meet the needs of the locality. In addition, having regard to the identified need for additional medical facilities and the assessment of criterion (ii) it is considered that in this instance the benefit of providing additional GP

services would outweigh the loss of a single residential dwelling.

In conclusion, the policy argument with regard to the provision of a GP surgery on this site is finely balanced but overall the application is considered to satisfy the requirements of Policy R15 of the Saved Policies UDP and is acceptable in principle.

7.02 Density of the proposed development

Residential density is not relevant to the consideration of this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The application site is not located within a Conservation Area, Area of Special Local Character or in proximity to any Listed Buildings. Nor is the proposal considered likely to result in any harm to remains of archaeological importance.

7.04 Airport safeguarding

The proposal does not conflict with airport or aircraft safeguarding criteria.

7.05 Impact on the green belt

The nearest area of land within the designated Green Belt is the privately owned open land to the south east, which benefits from visual separation arising from landscaping and Pield Heath Road itself.

The proposed single storey extension would be further from this area than the existing built form and be substantially screened by the retained landscaping. The proposal would not harm the visual amenity of the Green Belt and accordingly complies with Policy OL5 of the Saved Policies UDP.

7.07 Impact on the character & appearance of the area

Policy BE13 of the Saved Policies requires that developments harmonise with the character and appearance of the surrounding area. Policy BE15 indicates that proposals for alterations and extensions to existing buildings will be permitted where they harmonise with the scale, form, architectural composition and proportions of the original building.

The proposed extension would be relatively large, approximately doubling the footprint of the existing building, but is designed such that the scale, form, architectural features and proportions are considered to harmonise with those of the existing building.

The side portion of the extension (forming the L) would protrude forward of the existing facade facing Pield Heath Road, however due to the corner location of the plot the extension would not substantially breach the primary building line along Pield Heath Road.

The single storey extension would due to its limited height and the significant level of landscaping in the vicinity be visible from only limited viewpoints close to the site in Pield Heath Road. It is worth noting that the building line in the sites immediate vicinity is varied. It is therefore not considered that the forward projection of the extension would be harmful to the character or appearance of the street scene.

Overall, it is considered that the proposed extension would be appropriate in appearance harmonising with both the existing building and character of the area. The proposal is therefore considered to comply with Policies BE13 and BE15 of the Saved Policies UDP.

7.08 Impact on neighbours

Issues relating to noise and potential disturbance are addressed within the Noise/Air Quality section of this report.

The closest neighbouring occupier is at no. 1 Pield Heath Avenue a single storey bungalow located to the north of the application site.

Policies BE20 and BE21 of the Saved Policies UDP require that buildings are laid out so that adequate daylight and sunlight can penetrate into and between them and resists permission for extensions which would by reason of their siting, bulk or proximity, would result in a significant loss of residential amenity.

The proposed extension would be a single storey structure with a pitched roof. The extension would be set 3.4m off the boundary with the neighbouring property with a maximum eaves height of 2.7m increasing to a ridge height of 6m at a distance of 7.5m from the boundary.

Having regard to the single storey height of the building and its set back from the shared boundary it is not considered that the proposal would be detrimental to the amenity of the occupiers of no. 1 Pield Heath Road by way of loss of light or dominance.

Policy BE24 of the UDP and guidance within HDAS - Residential Layouts seeks to protect the privacy of neighbouring residential occupiers.

The proposal is for a single storey extension to the building and would not introduce any first floor windows. Accordingly, it is not considered that it would result in a loss of privacy for the neighbouring residential occupiers.

In summary, it is considered that the proposed development would have a satisfactory relationship with, and maintain an appropriate level of residential amenity to, neighbouring residential properties.

7.09 Living conditions for future occupiers

The application seeks a change of use to a GP surgery and extensions only, accordingly there will be no future residential occupiers.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The proposed surgery would be served by two parking areas as follows:

* Staff Parking - This would provide 3 parking spaces for use by staff and would be accessed via the existing vehicular crossover from Pield Heath Avenue.

* Patient/Visitor Parking - This space would provide 6 parking spaces (including 1 disabled space) and would be access via the existing vehicular access from Pield Heath Road.

The Council's Parking Standards do not provide recommendations for GP surgery's but indicate that parking levels should be determined on an individual basis.

The applicant has provided a variety of information in order to support the parking proposals including operating hours of the existing surgery on Harlington Road and of the proposed surgery, existing and proposed staff numbers and a two day modal split travel study carried out at the existing surgery. The modal split travel study was undertaken on the days with the longest operating hours (9.5 hours). Given the proximity of the two sites the study is considered a good indicator of likely demand as the existing patients are unlikely to change their existing travel patterns.

The modal split travel study indicates that the significant majority of patients (60%) travel to the surgery by foot, a number of patients also travel by public transport or are dropped off as a passenger.

The study indicates that over the course of a 9.5 hour day there would be an average of 17 visitors requiring parking spaces (those driving themselves and passengers where the

driver would wait in the vicinity). The proposed GP surgery would operate in a traditional fashion with patients being provided with short appointments and allotted time slots meaning that patient visits would be spread throughout the day. The Council's Highways Officer has considered the submission in detail and is of the opinion that the level of patient parking proposed is adequate to meet the needs of the facility. It is also noted that the proposed surgery is not intended to accommodate an increased patient list than is currently served by the existing GP surgery on Harlington Road, which is under 200m from the application site and benefits from no on site parking.

The study also indicates that the proposed level of staff parking would be adequate to meet the needs of the proposed surgery and that a number of staff have the option to travel by methods other than car, which could be encouraged by a condition requiring a staff travel plan.

The Council's Highways Engineer has considered the submission in detail and is of the view that the 6 patient/visitor and 3 staff parking spaces would accommodate the needs of the GP surgery.

The Council's Highways Engineer has also considered the site layout and considers the parking and access proposals to be acceptable in terms of vehicular and pedestrian safety.

The proposal also demonstrates the provision of cycle parking in accordance with the Council's adopted standards and details of the type of provision could be secured by condition.

Overall, the proposal is considered to comply with Policies AM7, AM9, AM13, AM14 and AM15 of the Saved Policies UDP.

7.11 Urban design, access and security

Issues of design and accessibility are addressed elsewhere in this report.

It is not considered that the scheme would give rise to any significant concerns relating to security. No objection is raised subject to conditions to ensure appropriate security measures and boundary treatments.

7.12 Disabled access

Policies R16 and AM13 of the Saved Policies UDP seek to ensure that developments of this type incorporate inclusive design, as do Policies 4B.1 and 4B.5 of the London Plan. Further detailed guidance is provided within the Accessible Hillingdon SPD.

Following receipt of initial comments from the Council's Access Officer the applicant has submitted amended plans in order to increase the accessibility of the development. The layout as not proposed incorporates an acceptable number of disabled parking spaces, direct access from the car park for disabled users, and acceptable corridor width and acceptable widths for all internal doors.

The door to one of the consulting and the staff entrance would need to be hung or sited slightly differently in order to attain a 300mm unobstructed space adjacent to the leading edge, and despite being of an appropriate size the internal layout of the disabled W.C. would require some amendments. However, these alterations could be easily accommodated within the built form proposed and could be appropriately secured by condition.

Subject to an appropriate condition it is considered that the proposal would provide an inclusive environment for future users in accordance with Policies R16 and AM13 of the Saved Policies UDP and Policies 4B.1 and 4B.5 of the London Plan.

7.13 Provision of affordable & special needs housing

The application seeks planning permission for the extension of an existing building and its change of use to a GP surgery. Considerations of affordable or special needs housing are therefore not relevant to the proposal.

7.14 Trees, landscaping and Ecology

Saved Policy BE38 of the Saved Policies UDP seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever appropriate.

The existing property is set within well established gardens and is well screened by ornamental shrubs and hedging along Pield Heath Road and wrapping around the corner into Pield Heath Avenue. An internal hedge is also present dividing the site into two.

The proposal will necessitate the loss of vegetation, including the internal hedge and at least one tree. It would also result in a reduction in the level of soft landscaping to the north and west of the building in order to provide car parking. However, the proposal would enable retention of the substantial soft landscaping along Pield Heath Road which contributes positively to the character of the area and would also retain significant areas of soft landscaping within the site.

The Council's Trees & Landscape Officer considers that the proposal would achieve an appropriate landscape quality and comply with Policy BE38 of the Saved Policies UDP.

Subject to conditions to agree a final planting scheme and its ongoing maintenance for a period of 5 years the proposal is considered to provide an appropriate landscape setting.

7.15 Sustainable waste management

Policy 4A.22 of the London Plan requires that all new developments provide adequate space for the storage of waste and recycling.

The submitted site plan demonstrates a location where 2 refuse and or recycling receptacles could be provided. An internal area is also shown to accommodate clinical waste. Given that the proposal is for a commercial use it is ultimately for the applicant to determine their required level of waste storage. However, there is a significant amount of space within the application site where additional capacity could be discreetly situated should this be required.

Subject to a condition requiring approval of waste and recycling storage proposals it is considered that the proposed development is capable of providing adequate facilities and would comply with Policy 4A.22 of the London Plan.

7.16 Renewable energy / Sustainability

Policies 4A.3 and 4A.7 of the London Plan require that all new developments incorporate sustainable design and seek to minimise their carbon dioxide emissions, including through the use of renewable technology.

The scale of the proposed development does not necessitate the provision of an energy assessment at application stage and it is considered that an adequate level of energy efficiency could be achieved within the development.

Subject to a condition ensuring this consideration is addressed during implementation of the development the proposal is considered to comply with Policies 4A.3 and 4A.7 of the London Plan.

7.17 Flooding or Drainage Issues

The application is not located within an area identified as being at risk of flooding. However, policy OE8 of the Saved Policies UDP and Policies 4A.3 and 4A.14 of the London Plan require that where possible surface water run off be reduced through sustainable drainage techniques.

The proposal would result in some increase in the level of hardstanding on site, but it is considered any increase in surface water run off could be mitigated by way of sustainable drainage solutions within the application site.

Implementation of sustainable drainage could be appropriately secured by way of a planning condition and accordingly no objection is raised in relation to flooding or drainage.

7.18 Noise or Air Quality Issues

NOISE

Policy OE1 of the Saved Policies UDP seeks to resist developments which are, or are likely to become detrimental to the amenity of surrounding properties or the area due to environmental impacts, including traffic generation or noise. Policy OE3 states that buildings or uses which have the potential to cause noise annoyance will only be permitted if the impact is mitigated within acceptable levels by engineering, lay-out or administrative measures.

The original submission included a one-way system which ran along the boundary with no.1 Pield Heath Avenue, this has been removed by way of amended plans and no longer forms part of the proposal.

The proposed use as a GP surgery is likely to result in a higher level of activity than the existing use as a residential property and yard, accordingly consideration of the proposals impact in terms of noise requires consideration.

The Council's Environmental Protection Unit has considered the amended proposal in detail and consider that any noise impact could be adequately mitigated by way of a suite of physical and administrative measures including:

Installation of an acoustic fence on the boundary with 1 Pield Heath Avenue;

A condition restricting the hours of use of the GP surgery; and

A condition ensuring that any noise arising from plant falls below an appropriate level.

These measures can be secured by way of planning conditions and accordingly it is not considered that noise arising from the development would result in an unacceptable impact on the amenity of neighbouring residential occupiers.

AIR QUALITY

It is not considered that the level of additional vehicular movements generated by the proposal would have a significant detrimental impact on local air quality.

7.19 Comments on Public Consultations

All issues raised through the public consultation are addressed within the body of the report.

7.20 Planning obligations

The scheme is not of a scale or type which would necessitate the provision of planning obligations.

7.21 Expediency of enforcement action

Not applicable.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

10. CONCLUSION

The application seeks the change of use of the an existing residential property (Use Class C1) to a GP surgery (Use Class D1) in addition to a single storey side/rear extension. The applicant has formally requested that should planning permission be granted the Use Class of the site be limited specifically to a GP Surgery within Use Class D1 and the application should be considered on this basis.

The policy matters in this case are finely balanced, however having regard to all relevant material matters it is considered that the principle of the development is acceptable in accordance with Policy R15 of the Saved Policies UDP.

The proposed extensions would maintain an acceptable relationship with the neighbouring

residential property and subject to conditions it is not considered that the proposed use would have an unacceptable impact on the amenity of the neighbouring residential occupiers.

The extensions would also attain an appropriate appearance harmonising with the existing building and street scene and the proposal would retain the important landscaping along the site frontage.

Subject to conditions the proposal would achieve an appropriate level of inclusive and sustainable design.

The Council's Highways Officer is satisfied that the level of parking proposed for the medical centre is adequate and that the layout is acceptable in terms of pedestrian and highways safety.

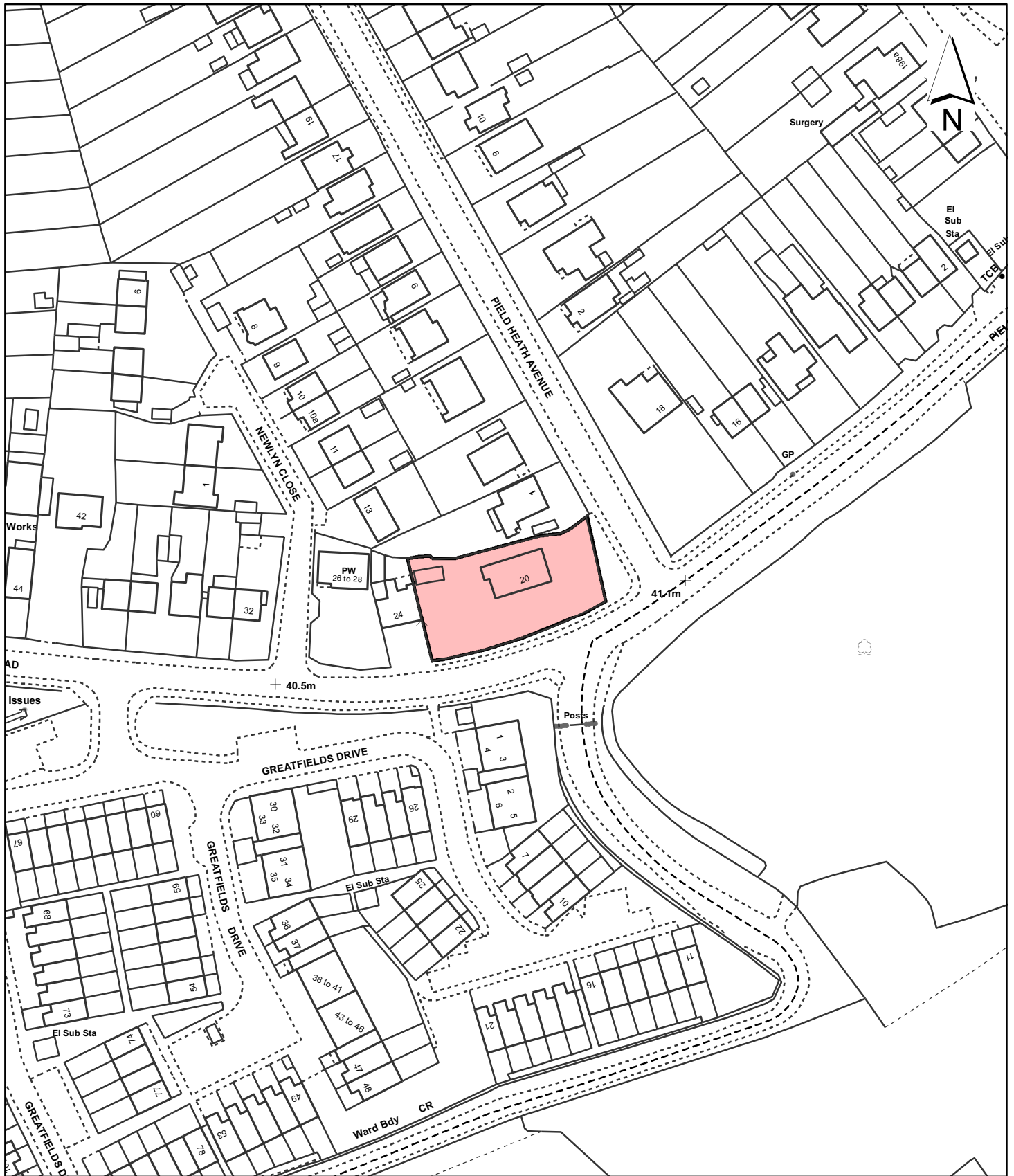
Overall, the application is considered acceptable and recommended for approval subject to conditions.

11. Reference Documents

- (a) The London Plan
- (b) Planning Policy Statement 1: Delivering Sustainable Development
- (c) Planning Policy Statement: Planning and Climate Change - Supplement to Planning Policy Statement 1
- (d) Planning Policy Statement 3: Housing
- (e) Planning Policy Guidance 13: Transport

Contact Officer: Adrien Waite

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**20 Field Heath Road
Hillingdon**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

21661/APP/2010/1716

Scale

1:1,250

Planning Committee

Central and South

Date

**January
2011**



HILLINGDON
LONDON

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Report of the Head of Planning & Enforcement Services

Address 103 PARK ROAD UXBRIDGE

Development: Change of use from Class A1 (Shops) to Class A5 (Hot food takeaway) and installation of extraction flue to rear.

LBH Ref Nos: 32648/APP/2010/1408

Drawing Nos: Design & Access Statement
1:500 Block Plan
1:1250 Location Plan
776/bat/2

Date Plans Received: 16/06/2010 **Date(s) of Amendment(s):** 16/06/2010
Date Application Valid: 09/07/2010 09/07/2010
28/10/2010

1. SUMMARY

Planning permission is sought for the change of use from a shop to a take-away and the installation of a flue to the rear of the premises.

There are sufficient shops in the nearby Uxbridge Town centre that would cater for the shopping needs of nearby residents. The proposed flue would not harm the residential amenities of nearby residents and subject to a condition restricting the hours of operation, the proposal would not result in an increase on on-street demand for parking.

2. RECOMMENDATION

APPROVAL subject to the following:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 N13 Sound insulation of commercial/entertainment premises

The development shall not begin until a sound insulation scheme for the control of noise transmission to the adjoining dwellings/premises has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be fully implemented before the development is occupied/use commences and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

REASON

To safeguard the amenity of the occupants of surrounding properties in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

3 N14 Control of amplified music

The development shall not begin until a scheme for the control of amplified music

emanating from the site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include such combination of physical, administrative measures and noise limits and other measures as may be approved by the Local Planning Authority. The scheme shall be fully implemented before the development is occupied/use commences and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

REASON

To safeguard the amenity of the occupants of surrounding properties in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

4 N12 Air extraction system - noise and odour

No development shall take place until details of the height, position, design and materials of any chimney or extraction ventilation system, to extract kitchen fumes and odours, to be provided in connection with the development have been submitted to and approved in writing by the Local Planning Authority. The development shall not be carried out until the vent/chimney has been installed in accordance with the approved details. Thereafter the vent/chimney shall be permanently retained and maintained in good working order for so long as the use continues.

REASON

In order to safeguard the amenities of adjoining properties in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policies 4B.1 and 4A.19.

5 HLC4 Hot Food Takeaways

The premises shall not be used for the preparation or sale of food between the hours of 1800 hours and 0800 hours.

REASON

To prevent and increase in on-street demand for parking to the detriment of highway and pedestrian safety and to safeguard the residential amenity of the occupiers of adjoining and nearby properties in accordance with Policies AM2, AM7 and OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

6 NONSC Non Standard Condition

No development shall take place until a scheme detailing the method of disposal, storage and collection of litter and waste materials, generated by the business and/or discarded by patrons, has been submitted to and approved in writing by the Local Planning Authority. The details shall include a description of the facilities to be provided and the methods for collection of litter within and in the vicinity of the premises. The approved scheme shall be implemented in full thereafter.

REASON

To ensure that adequate provision is made for the disposal of litter and waste, in the interests of maintaining a satisfactory standard of amenity in the locality, in accordance with policy S1 of the Hillingdon Unitary Development Plan.

7 NONSC Non Standard Condition

A notice shall be displayed permanently and prominently within the premises requesting that customers dispose of their litter responsibly.

REASON

To ensure the satisfactory disposal of litter in the interests of maintaining a satisfactory standard of amenity in the locality, in accordance with policy S1 of the Hillingdon Unitary Development Plan.

8 NONSC Non Standard Condition

The premises shall not be used for delivery and the loading or unloading of goods outside the hours of 08:00 and 18:00 Monday to Friday and outside the hours of 08:00 and 13:00 hours on Saturdays. There shall be no deliveries or loading or unloading of goods on Sundays

REASON

To safeguard the amenity of surrounding area, in accordance with policies OE1 and OE3 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007)

9 OM17 Litter Bin Required

The use hereby permitted shall not commence until the owner has made arrangements, to be submitted to and approved in writing by the Local Planning Authority, for the provision of a litter bins within and in the vicinity of the site.

REASON

To ensure that adequate provision is made for the disposal of litter likely to be generated by the proposed development, in the interests of maintaining a satisfactory standard of amenity in the locality, in accordance with policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

10 DIS2 Access to Buildings for People with Disabilities

Development shall not commence until details of access to building entrances (to include ramped/level approaches, signposting, types and dimensions of door width and lobby openings) to meet the needs of people with disabilities have been submitted to and approved in writing by the Local Planning Authority. The approved facilities should be provided prior to the occupation of the development and shall be permanently retained thereafter.

REASON

To ensure that people with disabilities have adequate access to the development in accordance with Policies AM13 and R16 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan Policies (February 2008) Policies 3A.13, 3A.17 and 4B.5.

11 HLC3 Hours of Use

No persons other than staff shall be permitted to be on the premises between the hours of 18.00 hours and 08.00 hours.

REASON

To ensure that the amenity of the occupiers of adjoining or nearby properties is not adversely affected in accordance with Policy OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

12 NONSC Non Standard Condition

The external portions of flue/pipe associated with the use hereby approved shall be painted black, and shall be removed and the external fabric of the building made good within 1 month upon the use of the premises hereby approved ceasing.

REASON

To ensure that the appearance of the external portions of the Flue do not unnecessarily detract from the external appearance of the building and to safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

1 152 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 153 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE5	New development within areas of special local character
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
OE1	Protection of the character and amenities of surrounding properties and the local area
S7	Change of use of shops in Parades
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
S6	Change of use of shops - safeguarding the amenities of shopping

areas

3 11 Building to Approved Drawing

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 13 Building Regulations - Demolition and Building Works

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

5 16 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

6 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

7 118 Storage and Collection of Refuse

The Council's Waste Service should be consulted about refuse storage and collection

arrangements. Details of proposals should be included on submitted plans.

For further information and advice, contact - the Waste Service Manager, Central Depot - Block A, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB8 3EU (Tel. 01895 277505 / 506).

8 125 Consent for the Display of Adverts and Illuminated Signs

This permission does not authorise the display of advertisements or signs, separate consent for which may be required under the Town and Country Planning (Control of Advertisements) Regulations 1992. [To display an advertisement without the necessary consent is an offence that can lead to prosecution]. For further information and advice, contact - Planning & Community Services, 3N/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250574).

9 127 Hot Food Takeaways/restaurants - late night opening

If the premises are to be open after midnight on any night (for which an application for planning permission is required), registration with the Council is required pursuant to the Night Cafes Act. For further advice and information contact:- Commercial Premises Section, 4W/04, Civic Centre, High Street, Uxbridge (Telephone 01895 250190).

10 119 Sewerage Connections, Water Pollution etc.

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE. Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

11

You are advised that Thames Water recommends the installation of a properly maintained fat trap on all catering establishment. They further recommend, in line with best practice for the disposal of Fats, Oil and Grease, the collection of waste oil by a contractor, particularly to recycle for the production of bio diesel. Failure to implement these recommendations may result in this and other properties suffering blocked drains, sewage flooding and pollution to local watercourses. You are advised to consult Thames Water on 0208 507 4321.

12

With regards to condition 6, you are advised to include details demonstrating that the proposed bin stores meet the following guidance:

Bin Size - 1,100 litre Eurobin; Height - 1,370mm; Depth - 990mm; Width -1,260mm

Additional bins should be considered for recycling.

You are also advised that:

(i) The material used for the floor / surface of where the bulk bin is stored should be 100 mm thick to withstand the weight of the bin. It should be made from a smooth surface that can be washed down with water and disinfectant, and the run off from this should flow to a proper drain.

(ii) The collectors should not have to cart a bulk bin more than 10 metres from the point of storage to the collection vehicle (BS 5906 standard). This would only work if the occupier of 101 Park Road allowed the joint access to be used for moving waste containers from the proposed development.

(iii) The gradient of any path that the bulk bins have to be moved on should ideally be no more than 1:20, with a width of at least 2 metres. The surface should be smooth. If the path is raised above the area where the collection vehicle parks, then a dropped kerb is needed to safely move the bin to level of the collection vehicle.

(iv) The client for the building work should ensure that the contractor complies with the Duty of Care requirements, created by Section 33 and 34 of the Environmental Protection Act.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the north west side of Park Road and comprises the ground floor of a two storey terraced property with a two storey rear outrigger and a part single storey rear extension. It also incorporates an archway, which provides vehicular access to lock-up garages to the rear of a yard and pedestrian access to 103A Park Road, which has its entrance door within the archway.

To the southwest lies 101 Park Road, a ground floor retail unit with residential accommodation above, assessed from within the archway. To the northeast lies 105 Park Road, a two storey end of terrace property. The street scene is residential in character and appearance, comprising a mix of detached, semi-detached and terraced properties and the application site lies within the North Uxbridge Area of Special Local Character, as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

Nos. 101, 103 & 105 Park Road are locally listed buildings.

3.2 Proposed Scheme

The application site is currently in use as a retail unit as a sandwich shop. Planning permission is sought for the change of use from Class A1 (shop) to Class A5 (Hot Food Take-Away).

No external alterations are proposed at the front. An external extract flue is proposed above the roof of the part single storey rear extension attached to the rear wall of the building. It would measure 0.2m by 0.2m and would project some 1m above the eaves of the main roof.

It is also proposed to install bin stores along the rear section of the flank wall of the premises.

3.3 Relevant Planning History

32648/82/1493

103 Park Road Uxbridge

Change of use to Retail use 62sq.m.(P)

Decision: 27-01-1983 Refused

32648/G/94/1070 103 Park Road Uxbridge

Change of use from Class A1 (Retail) to Class A2 (Financial and Professional Services) and erection of a single storey side extension

Decision: 14-12-1994 Approved

Comment on Relevant Planning History

Planning permission ref: 32648/APP/2008/1092 for the change of use from Class A2 (Financial and Professional Services) to Class A5 (Takeaways) and erection of an external extractor flue to rear/side, was refused in July 2008 for the following reasons:

1. Given the expected level of vehicle movements associated with the proposed use, and the lack of off street parking and limited access to available on street parking, it is likely that the proposal would give rise to vehicular and parking conflict prejudicial to highway and pedestrian safety. As such, the proposal would be detrimental to highway and pedestrian safety, contrary to Policies AM7 (ii) and AM14 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and the Council's Parking Standards (Annex 1, adopted Hillingdon Unitary Development Plan, Saved Policies, September 2007).

2. The proposal fails to provide sufficient off-street parking for the proposed use in accordance with the Council's adopted Parking Standards (Annex 1, adopted Hillingdon Unitary Development Plan (Saved Policies September 2007). As such, the proposal would give rise to additional on-street parking demand in the surrounding streets, which is detrimental to highway and pedestrian safety contrary to policies AM7(ii) and AM14 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and the Council's Parking Standards (Annex 1, adopted Hillingdon Unitary Development Plan, Saved Policies, September 2007).

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- | | |
|------|---|
| BE5 | New development within areas of special local character |
| BE13 | New development must harmonise with the existing street scene. |
| BE15 | Alterations and extensions to existing buildings |
| BE19 | New development must improve or complement the character of the area. |
| OE1 | Protection of the character and amenities of surrounding properties and the local |

	area
S7	Change of use of shops in Parades
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
S6	Change of use of shops - safeguarding the amenities of shopping areas

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

45 adjoining owner/occupiers and the North Uxbridge Residents' Association have been consulted. 16 letters of objection have been received making the following comments:

- (i) The proposal would be out of character with the local character of the area;
- (ii) Insufficient parking has been provided;
- (iii) The proposal would create additional litter
- (iv) The proposal would increase parking and congestion on the road;
- (v) There is no need for a take away in this location as there are other similar outlets within walking distance of the site;
- (vi) The proposal would lead to an increase in noise and disturbance;
- (vii) The proposal would harm the residential amenities of the occupiers of 58 and 62 Montague Road through noise and smells;

North Uxbridge Residents' Association:

"North Uxbridge Residents Association wrote in May 08 opposing an application to use the above premises for a take-away premises, principally on the grounds of the detrimental impact on nearby residential properties, notably 105 which has a party wall with 103, but generally on other properties in Montagu Road. Other residents living nearby expressed concerns about this proposal for the reasons of noise, smell and litter. This was duly refused permission and the shop has been used since then largely for the sale of cold snack food although microwave reheated foods and hot drinks have been available.

It is believed that in this location, hot food take-away would rely mostly on passing trade, with customers using cars, or Uxbridge College students. The passing trade would probably create far worse parking/traffic hazards than the current operation. There would be an excessive pressure on the limited parking outside the former Post Office/convenience store which offers a valid local convenience to nearby residents. Given the intended hours of trading of 8 am to 6 pm every day of the week as stated on the application forms, the parking conflict would be at its greatest during the working week.

A hot food establishment would generate excessive noise and fumes from both car born customers

and from the cooking facilities and smell extraction. The visual intrusion of the extract trunking would be an inevitable visual blight and fumes and smells would pervade the amenity of nearby residential properties.

NURA does not believe a take-away facility is needed in this location, there are plenty in the town already. Accordingly NURA request that this Application be refused."

MOD Safeguarding: No safeguarding objections.

Internal Consultees

Thames Water:

Thames Water recommends the installation of a properly maintained fat trap on all catering establishments. We further recommend, in line with best practice for the disposal of Fats, Oils and Grease, the collection of waste oil by a contractor, particularly to recycle for the production of bio diesel. Failure to implement these recommendations may result in this and other properties suffering blocked drains, sewage flooding and pollution to local watercourses. Further information on the above is available in a leaflet, 'Best Management Practices for Catering Establishments' which can be requested by telephoning 020 8507 4321.

Waste Management:

- a) I would recommend allowing space for 1 x 1,100 litre bulk bin to safely and hygienically contain the waste arising from the food takeaway. Additional bins should be considered for recycling.
- b) The material used for the floor / surface of where the bulk bin is stored should be 100 mm thick to withstand the weight of the bin. It should be made from a smooth surface that can be washed down with water and disinfectant, and the run off from this should flow to a proper drain.
- c) The collectors should not have to cart a bulk bin more than 10 metres from the point of storage to the collection vehicle (BS 5906 standard). This would only work if the occupier of 101 Park Road allowed the joint access to be used for moving waste containers from the proposed development.
- d) The gradient of any path that the bulk bins have to be moved on should ideally be no more than 1:20, with a width of at least 2 metres. The surface should be smooth. If the path is raised above the area where the collection vehicle parks, then a dropped kerb is needed to safely move the bin to level of the collection vehicle.
- e) The client for the building work should ensure that the contractor complies with the Duty of Care requirements, created by Section 33 and 34 of the Environmental Protection Act.

Environmental Protection Unit:

The Environmental Protection Unit recommend conditions are attached to control odour and noise from the air extraction flue. We should ensure adequate litter bins are provided.

With regards to the opening hours, being 8am - 6pm Monday - Sunday, this does not seem unreasonable. It is noted from the plans that sound insulation via the ceiling is being provided, which would be required.

There is no history of complaints on the current premises.

Highways:

The Council's cycle parking standards stipulate a minimum requirement of 3 cycle parking spaces for the proposed A5 use. The applicant has not proposed any cycle parking, however there appears to be adequate space to the rear for cycle parking. This should therefore be covered

through a suitable planning condition.

One off-street car parking space is proposed, which would be suitable for staff and small deliveries. The site is located close to public transport links.

There is restricted parking available in the lay-by fronting the site. Given the takeaway is not proposed to be opened after 6pm the parking restrictions within the lay-by and in the surrounding areas are self-enforcing.

Consequently, no objection is raised on the highways aspect of the proposals subject to the car parking and cycle parking being covered through suitable planning conditions.

Heritage Conservation Officer

Acceptable, subject to the imposition of an condition on any consent requiring the flue to be painted a dark colour and removed when the use ceases.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application site falls within the definition of a 'corner shop' as set out in Table 8.1, which defines such shops as:

'Isolated shops or pairs (not necessarily at street corners) which primarily provide essential local shop services for people living or working within walking distance of up to 800m.'

The proposal involves the change of use of a local shop which has the potential to provide top-up shopping trips for local residents. Paragraph 8.12 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) advises that "There is considerable pressure for service uses in these areas and the continued loss of shops could seriously limit residents' accessibility to local shops. A walking distance to local shops of 800m, i.e. about a 10 minute walk, is generally considered acceptable. Any alternative shops available to residents within 800m will therefore be taken into account by the Local Planning Authority in considering applications for a change from retail use. It will take particular account of the availability of the following shop uses which are important at the local level: chemist, Post Office counter, grocer, baker, butcher, greengrocer, newsagent."

The application site is within 200m of Uxbridge Town Centre, a major, strategic town centre. As such, the loss of the retail unit would not harm shopping provision for local residential, in accordance with policy S7 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.02 Density of the proposed development

This is not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

This is not applicable to this application.

7.04 Airport safeguarding

This is not applicable to this application.

7.05 Impact on the green belt

This is not applicable to this application.

7.07 Impact on the character & appearance of the area

No external alterations are proposed at front. The proposed flue would be located to the rear of the application property and therefore, would not be visible from the street scene.

The proposed flue is considered to relate satisfactorily with the appearance of the property and is not considered to harm the character and appearance of the surrounding area.

As such, the proposal would not harm the character and visual amenities of the North Uxbridge Area of Special Local Character, in accordance with policies BE5, BE13 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.08 Impact on neighbours

The surrounding area is residential in character and appearance. There are residential properties above and adjacent to the application property. The proposed flue would be located to the rear and would be of a modest size. Due to its siting, projecting above the eaves of the roof and expelling cooking fumes away from the residential properties, and subject to a planning condition requiring sufficient details relating to the external flue is submitted before prior occupation to protect the residential amenities of nearby residents from odour nuisance and noise vibration, it is considered that the proposed flue is unlikely to harm the living condition of nearby residential properties.

Further conditions relating to hours of operation, the prevention of a delivery service and the display of an external bin to protect against late night noise and disturbance and litter are also recommended to protect the residential amenities of adjoining occupiers, should planning permission be granted. The proposal is considered to comply with Policies S6 (iii) and OE1 of the Hillingdon Unitary Development Plan Saved Policies September 2007.

7.09 Living conditions for future occupiers

This is not applicable to this application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Park Road is a classified B Road, and the site lies close to traffic lights. Parking is normally free flowing and relatively fast in the vicinity of the site. The proposed use would generate additional traffic over and above the existing use. However, on street parking in the area is controlled during daytime hours, and a number of private crossovers exist in the immediate vicinity of the site. As the applicant has stated on the application form that the premises will only operate between 0800 and 1800 hours, the existing parking restrictions within the layby and in surrounding streets are self-enforcing.

The Council's Parking Standards (Annex 1, adopted Hillingdon Unitary Development Plan, Saved Policies September 2007) requires 1 space per 50m² of floorspace. The proposal incorporates 1 parking space to the rear of the site and this would be suitable for staff and deliveries. As such, the proposal would not give rise to vehicular and parking conflict or result in additional on-street demand for car parking, which would be detrimental to highway and pedestrian safety, in accordance with Policies AM2, AM7 (ii), AM9 and AM14 of the of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and the Council's Parking Standards (Annex 1, adopted Hillingdon Unitary Development Plan, Saved Policies September 2007). The proposal would overcome the reasons for refusal of the previous scheme.

A condition is recommended requiring cycle parking provision should planning permission be granted.

7.11 Urban design, access and security

The applicant has confirmed that there is a right of way over the driveway access for vehicles. This is shown on the submitted amended plans. As such, the parking space and access to the rear would be available for servicing vehicles through use the existing access for waste collection.

7.12 Disabled access

With regards to disabled access, the applicant has confirmed that the front entrance will be compliant with disabled access standards. The ground floor WC would be for staff only. These are identified on the submitted amended plans.

7.13 Provision of affordable & special needs housing

This is not applicable to this application.

7.14 Trees, landscaping and Ecology

This is not applicable to this application.

7.15 Sustainable waste management

The application proposes two waste storage bays along the rear section of the flank wall facing the access way and adjacent to the proposed parking space. A standard Council refuse vehicle would not be able to access within 10m of the refuse stores due to the limited clearance. However, the Council's Waste Strategy Team has confirmed that as the proposed use would be commercial the occupier would be able to arrange for private refuse collection. A private refuse collection would have a wider range of collection options, including the option of using smaller collection vehicles which could access the alley. It is also noted that the existing A1 unit sells cold food and does not appear to suffer difficulties with regard to refuse storage.

The proposal is therefore considered acceptable in principle however a condition is recommended requiring details to be submitted to ensure that bin stores are of an appropriate appearance and design.

7.16 Renewable energy / Sustainability

This is not applicable to this application.

7.17 Flooding or Drainage Issues

This is not applicable to this application.

7.18 Noise or Air Quality Issues

As stated at paragraph 07.8, the proposed flue would be located to the rear and would be of a modest size. Due to its siting, projecting above the eaves of the roof, it is considered to be sufficiently located as to expel cooking fumes away from the residential properties. The Environmental Health Officer raises no objections to the proposed location of the flue and recommends conditions to control odour and noise.

Subject to these conditions, it is considered that the proposal would not harm the residential amenities of nearby residential by reason of noise and odour.

7.19 Comments on Public Consultations

With regards to third party comments, the fact that similar uses may be nearby is not a material planning condition. The remaining points are addressed in the report.

7.20 Planning obligations

This is not applicable to this application.

7.21 Expediency of enforcement action

This is not applicable to this application.

7.22 Other Issues

There are no other relevant issues.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to

make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

This is not applicable to this application.

10. CONCLUSION

For the reasons outlined above, and that the development complies with the aforementioned policies of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007), this application is recommended for approval.

11. Reference Documents

Adopted Hillingdon Unitary Development Plan (Saved Policies September 2007)

Contact Officer: Sonia Bowen

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**103 Park Road
Uxbridge**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

32648/APP/2010/1408

Scale

1:1,250

Planning Committee

Central and South

Date

**December
2010**



HILLINGDON
LONDON

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Report of the Head of Planning & Enforcement Services

Address GRASS VERGE REAR OF 109 AND 111 SWEETCROFT LANE HERCIES ROAD (CLOSE TO BUS STOP) HILLINGDON

Development: Installation of 12.5m high imitation telegraph pole mobile phone mast and ancillary equipment cabinet (Consultation under Schedule 2, Part 24 of the Town and Country Planning (General Permitted Development) Order 1995).

LBH Ref Nos: 67517/APP/2010/2930

Drawing Nos: 100
200
300 REV A
400 REV A
Antenna/Equipment Schedule (500 REV A)
General background Information on Radio Network Development for Planning Applications
Site Specific Supplementary Information
Cornerstone: Supporting Technical Information for Vodafone Agent's Letter Accompanying Application - 14/12/2010
Tyco Electronics Letter to RAF Northolt - 14/12/2010
Vodafone Letter to Chief Planning Officer - 14/12/2010
Tyco Electronics Letter to Highways Department - 14/12/2010

Date Plans Received: 14/12/2010 **Date(s) of Amendment(s):**

Date Application Valid: 14/12/2010

1. SUMMARY

It is proposed to erect a telecommunications mast on the grass verge fronting Hercies Road, to the rear of 109 and 111 Sweetcroft Lane.

The proposed telecommunications mast by virtue of its size and location would detract from the street scene, because it would be a readily apparent, incongruous element. The mast would not harmonise with the existing street scene and as such is contrary to Policies BE13, BE37 and OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposed development would result in an incongruous and visually obtrusive form of development which would be out of keeping with the visual character of the surrounding street scene. Furthermore, other potential solutions have not been fully investigated. The proposal is therefore contrary to Policies pt.1.8, pt1.11, BE13, BE37 and OE1 of the Hillingdon Unitary Development Plan Saved Policies September 2007.

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 **Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE37	Telecommunications developments - siting and design
OE1	Protection of the character and amenities of surrounding properties and the local area

3. CONSIDERATIONS

3.1 Site and Locality

The site comprises the grass verge fronting Hercies Road, to the rear of 109 and 111 Sweetcroft Lane. The proposed installation would be situated behind an existing bus shelter and near to the Hercies Road/Sweetcroft Lane intersection. A row of trees and vegetation, measuring approximately between 8m and 16m high, are located on the grass verge and provide a boundary between the application site and the back gardens of Sweetcroft Lane. Extensive areas of open space, including playing fields, are located to the north west and fall within the Green Belt. The site falls within the developed area, as shown in the Unitary Development Plan Proposals Map.

3.2 Proposed Scheme

It is proposed to install a 12.5m high replica telegraph pole with 3 integral antennas and an ancillary equipment cabinet. The equipment cabinet would measure 1.58m by 0.38m by 0.4m high and would be located adjacent to the mast. The mast would be coloured brown and the cabinet would be coloured green. The cabinet would set back from 0.35m from the edge of the bus shelter and the mid-point of the mast would be set back 0.5m from the edge of the bus shelter.

3.3 Relevant Planning History

Comment on Relevant Planning History

There is no planning history on the site.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- | | |
|------|--|
| BE13 | New development must harmonise with the existing street scene. |
| BE37 | Telecommunications developments - siting and design |
| OE1 | Protection of the character and amenities of surrounding properties and the local area |

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **25th January 2011**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Consultation letters were sent to 85 local owner/occupiers, Hercies Road resident Association and the North Uxbridge Resident Association and a site notice was posted. To date three letters of objection have been received. The following concerns are raised:

- i) Health risks.
- ii) Visual impact.

Internal Consultees

Highways

No objection. It should also be noted that no Highways objections were raised at pre-application stage.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The proposed installation does not exceed the limits set out in Part 24 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 1995 (as amended). It would not be located in an environmentally sensitive area, such as a conservation area, where more restrictive criteria are applicable. Accordingly, the proposal constitutes permitted development.

In accordance with Part 24 of the Town and Country planning (General Permitted Development) Order 1995 (as amended) Vodafone is required to apply to the Local Planning Authority for a determination as to whether prior approval of the details of siting and design is required and, if so, for the Local Planning Authority to either approve or refuse those details.

7.02 Density of the proposed development

Not applicable to this type of development.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The site is located approximately 80m south of the green belt. Between the site and the green belt is Sweetcroft Lane with relatively large rear gardens.

The site is not in a Conservation Area or Area of Special Character.

7.04 Airport safeguarding

The proposed mast will have no impact on airport safeguarding.

7.05 Impact on the green belt

The proposed mast is not located within and will not be visible from the Green Belt.

7.07 Impact on the character & appearance of the area

The proposed mast has been designed to have the appearance of a telegraph pole, however it is to be approximately 50cm in diameter and 12.5m in height. The closest telegraph pole is set further back on the grass verge, closer to the trees and bushes that line the back of the properties on Sweetcroft Lane and is much narrower and only approximately 8m in height. The most prominent street furniture forming the setting, albeit that these are on the opposite side of the road, of the mast are lamposts. These are relatively thin metal columns approximately 9m in height.

The mast would be located in a highly prominent position that would be visible from long views down Hercies Road as well as Sweetcroft Lane. It is therefore considered that the proposal would detract from the street scene, because it would be a readily apparent, incongruous element. The mast would not harmonise with the existing street scene and is as such contrary to Policy BE13, BE37 and OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

7.08 Impact on neighbours

Residents express concerns about the possible health risks from the development. PPG8 indicates that the planning system is not the place for determining health safeguards. It goes on to state that if a proposed mobile phone base station meets the ICNIRP guidelines, it should not be necessary to consider further the health aspects of the development and concerns about them. The applicant has confirmed that the proposed equipment would comply with ICNIRP guidelines. There is nothing to indicate that there is a risk to health, nor is there evidence to outweigh advice in PPG8 on health considerations. As such it is considered that the health fears of residents do not weigh significantly against the development. As such a reason for refusal on health grounds cannot be substantiated.

7.09 Living conditions for future occupiers

Not applicable to this type of application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Not applicable to this type of application.

7.11 Urban design, access and security

Not applicable.

- 7.12 Disabled access**
Not applicable to this type of application.
- 7.13 Provision of affordable & special needs housing**
Not applicable to this type of application.
- 7.14 Trees, landscaping and Ecology**
The proposed mast is to be located on a road side grass verge, away from trees and as such would have no impact on surrounding trees.
- 7.15 Sustainable waste management**
Not applicable to this type of application.
- 7.16 Renewable energy / Sustainability**
Not applicable to this type of application.
- 7.17 Flooding or Drainage Issues**
Not applicable to this type of application.
- 7.18 Noise or Air Quality Issues**
Not applicable to this type of application.
- 7.19 Comments on Public Consultations**
Concerns raised by residents have been addressed within the report.
- 7.20 Planning obligations**
None.
- 7.21 Expediency of enforcement action**
None.
- 7.22 Other Issues**
None.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol

(protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

10. CONCLUSION

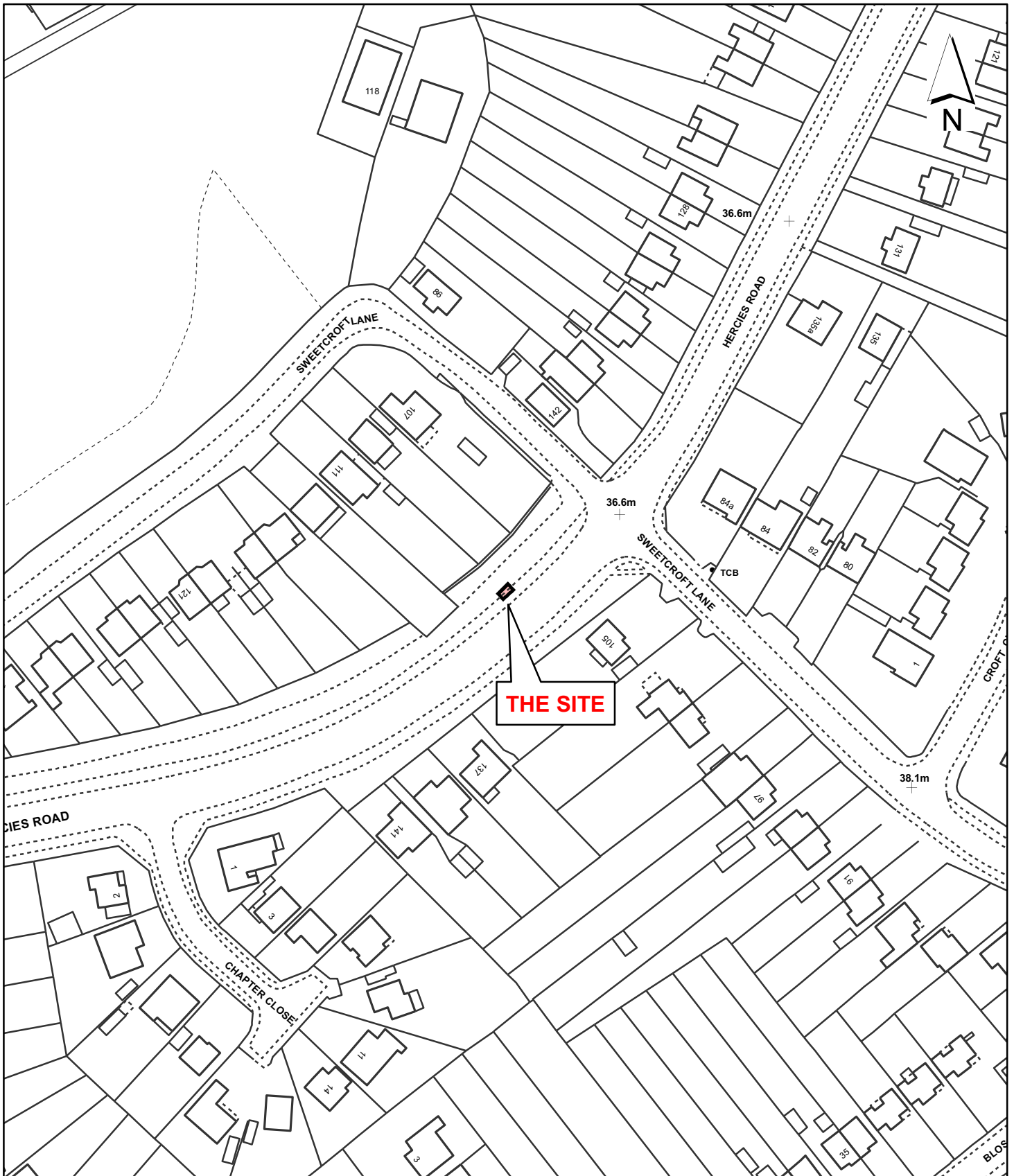
The proposed telecommunications mast would detract from the street scene, because it would be a readily apparent, incongruous element. The mast would not harmonise with the existing street scene and as such is contrary to Policy BE13, BE37 and OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

11. Reference Documents

Hillingdon Unitary Development Plan Saved Policies (September 2007).
PPG 8

Contact Officer: Matt Kolaszewski

Telephone No: 01895 250230



THE SITE

Notes

 Site boundary

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Site Address

**Grass verge rear of 109 and 111
Sweetcroft Lane, Hercies Road
(close to bus stop), Hillingdon**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

67517/APP/2010/2930

Scale

1:1,250

Planning Committee

Central and South

Date

**January
2011**



HILLINGDON
LONDON

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Report of the Head of Planning & Enforcement Services

Address 1 DERBY ROAD UXBRIDGE MIDDLESEX

Development: Alterations and extension to existing roof to create habitable roofspace to include 2 gable end windows and 4 side rooflights.

LBH Ref Nos: 60777/APP/2010/2713

Drawing Nos: H.08/01 As existing
LOCATION PLAN
BLOCK PLAN
H.08/02 PROPOSED ALTERATIONS
H.08/03 PROPOSED ALTERATIONS

Date Plans Received: 24/11/2010 **Date(s) of Amendment(s):**

Date Application Valid: 24/11/2010

1. CONSIDERATIONS

1.1 Site and Locality

1 Derby Road is a detached bungalow located on the southern side of Derby Road within a residential area of Uxbridge. Along the western side boundary of the application site runs a rear access lane serving the parade of retail properties fronting Cowley Road, with residential properties to the west and south. Derby Road rises from east to west.

The bungalow itself has a fully hipped red tiled roof approximately 5.6m high with a 1.4 lower roof projecting out 4.4m from the eastern half of the rear elevation. A flat roof extension has been constructed across the remaining rear elevation that measures 7m deep (2.6m further than the pitched roof element) and 3.1m high. A single storey lean-to store is located along the majority of the western boundary with no. 3 Derby Road that measures 2.4m at its maximum height.

There is no car parking provision provided to the front of the application site although an access has been created using shuttered concrete from the access road that runs along the side boundary.

The application site forms part of a row of 5 bungalows within the street that alternate in design with no's 5 and 9 repeating the design of no. 1 and no's 3 and 7 with differing frontages and no rear elements.

1.2 Proposed Scheme

Planning permission is sought to alter and extend the existing roof to form two bedrooms

and a shower room within the roof space. This is proposed by raising the height of the main roof by approximately 0.8m to approximately 6.4m, converting the hip to a gable and extending at this height for 4.4m (the depth of the existing pitched roof element) with the 2.6m deep single storey extension remaining on the western half of the rear elevation.

A window is proposed in each gable with 3 no. roof lights within the eastern elevation, facing no. 3 Derby Road, to serve the bedrooms and the central shower room and 1 no. roof light within the west elevation to serve the stairwell.

The proposed materials are plain farmhouse red tiles with rendered walls to match existing.

1.3 Relevant Planning History Comment on Planning History

None.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

19 neighbouring properties have been consulted and one letter of representation has been received from the neighbouring property (no. 3). The comments are as follows:

'We live at no. 3 Derby Road and we are very concerned that the height of the roof of the proposed alterations will impose on the natural light and sunlight to the rear of our property. You will see from the plans that the existing rear section of the roof to the east elevation is considerably lower than the actual roof at no.1.

You will also see from the street plan of Derby Road that No. 3 is a different shaped bungalow to No.1. No. 3 does not have the lower roof and finishes in line with the main roof of no. 1.

We are also concerned over the proposed velux window that will be placed overlooking our garden at the rear of the east elevation. It is our view that by just having a window placed in this way we will feel overlooked regardless of whether someone can actually see out of it. We do not understand why this window cannot be re-sited in the west elevation which currently only has one planned velux roof window. This would then mean two on each side.

We do hope that you will take our comments into consideration as we feel that we should be entitled to both direct light and privacy in a property where we have enjoyed both for over 8 years since moving to No.3 in 2002.'

A ward Councillor has requested that this application be determined by Committee.

4. **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- | | |
|----------|---|
| BE13 | New development must harmonise with the existing street scene. |
| BE15 | Alterations and extensions to existing buildings |
| BE19 | New development must improve or complement the character of the area. |
| BE20 | Daylight and sunlight considerations. |
| BE21 | Siting, bulk and proximity of new buildings/extensions. |
| BE23 | Requires the provision of adequate amenity space. |
| BE24 | Requires new development to ensure adequate levels of privacy to neighbours. |
| HDAS | 'Residential Extensions' |
| LPP 4A.3 | London Plan Policy 4A.3 - Sustainable Design and Construction. |
| ** | Pt 1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area |
| | Pt 1.16 To seek to ensure enough of new residential units are designed to wheelchair and mobility standards |
| | Pt 1.17 To seek to ensure the highest acceptable number of new dwellings are provided in the form of affordable housing |
| | Pt 1.26 To encourage economic and urban regeneration in the Hayes/West Drayton Corridor, designated Industrial and Business Areas (IBA's) and other appropriate locations |
| | Pt 1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed. |
| AM14 | New development and car parking standards. |
| BE22 | Residential extensions/buildings of two or more storeys. |

5. **MAIN PLANNING ISSUES**

The main considerations are visual impact, the affect on the amenities currently enjoyed by neighbouring occupiers, adequacy of retained amenity space and car parking considerations.

Visual Amenity

Policy BE13 of the UDP (Saved Policies September 2007) requires that the layout and appearance must harmonise with the existing street scene, policy BE15 goes on to state that extensions must be in keeping with the scale, form and architectural composition of the original building. Policy BE19 seeks to ensure that new development within residential areas complements or improves the amenity or character of the surrounding area. The Councils adopted Supplementary Planning Document (SPD) HDAS: Residential Extensions provides guidance on the design of different forms of householder development.

Section 7 of the SPD refers specifically to loft conversions and roof alterations and states that any assessment will have due regard for the impact of the extension upon the street scene and character of the property.

Although there are different styles of dwellings along Derby Road, this section of Derby Road consists of a row of attractive bungalows, none of which have been altered in respect of their view from the street and none have altered their roofs. It is considered that the proposed enlargement of the roof by increasing its main height by 0.9m, rear element roof by 2.3m and changing the hip to gable would result in eaves to ridge height that would not appear proportionate to the overall scale of the bungalow. Additionally, the visual impact of the added height and bulk of the gable roof would be considered detrimental within the street scene and the appearance of the surrounding area.

The proposed alteration and extension to the existing roof by reason of its height, and alteration from hip to gable would result in a visually incongruous and overdominant form of development that fails to harmonise with the established character of the street scene and surrounding North Uxbridge Area of Special Local Character. As such, the proposal is contrary to policies BE13, BE15 and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and the guidance contained within the HDAS Supplementary Planning Document, Residential Extensions (December 2008).

Residential Amenity

Policy BE20 of the UDP (saved policies 2007) requires adequate daylight and sunlight to penetrate into and between buildings to safeguard amenities. Policies BE 21 and BE22 require development to be appropriate siting, bulk, proximity and that first floor extensions are set back a minimum 1m from the boundary.

Section 6.0 of the HDAS SPD sets out guidance in respect of first floor rear extensions with the general principles that such extensions will only be allowed where there is no significant over-dominance, overshadowing, loss of outlook and daylight. At first floor level, extensions should not extend beyond a 45 degree line of sight taken from the nearest first floor window of any room of a neighbouring property. Full width extensions at first floor will only be considered on detached properties subject to meeting the 45 degree rule. Paragraph 6.4 of the HDAS SPD advises that a maximum depth of 4m for rear extensions to detached houses should be applied.

The proposed raising of the roof by 0.9m and extension at the rear would result in approximately an additional 8m depth of roof 2.3m higher than that existing. Although set 2m from the boundary with no. 3 Derby Road, as a bungalow with no rear extensions the proposed roof height would just bisect a 45 degree line taken from the closest opening to the boundary and it is considered that this in combination with the increased bulk would result in an over-dominant feature that would reduce the light and outlook received to the rear of no. 3 Derby Road.

The proposed roof extension by reason of its height and depth would be overly dominant and visually obtrusive form of development that would constitute an un-neighbourly form of development, resulting in a material loss of daylight and outlook to no. 3 Derby Road, contrary to policies BE20 and BE21 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and the HDAS Supplementary Planning Document: Residential Extensions (December 2008).

It is also necessary to consider the impact upon no's 98, 100 and 102 Cowley Road that have rear elevations facing the western side of the application site. In order to protect outlook a minimum separation distance between the window to a habitable room and a facing blank wall to a two-storey dwelling should be within the range of 12m to 15m. In this instance, the proposal is extending and raising the roof by 0.9m rather than a standard two storey dwelling and at a closest distance of 13m, it is considered that the proposed extension would not overdominate or have an overbearing impact upon the residents of no's 98, 100 and 102 Cowley Road.

As such, whilst the proposal would not result in a significant effect upon the rear of the properties fronting Cowley Road, it is considered that the proposal would result in a significant loss of amenity currently enjoyed by the residents of adjacent property (no. 3 Derby Road) contrary to policies BE20, BE21 and BE22 of the UDP (saved policies 2007).

Policy BE24 of the UDP (saved policies 2007) seeks to protect privacy. The southernmost roof light in the western elevation to serve a bedroom is proposed to be at high level, 1.8m above floor level. The roof light within the eastern elevation would also be high level and serve the stairwell whilst the central roof light would serve a bathroom and the northernmost roof light within the western elevation would be alongside the roof of no. 3. Provided the southernmost roof light and central bathroom roof light were obscure glazed and non-opening, it is considered that these roof lights would be acceptable. This could be ensured via condition should the proposal be approved.

In terms of impact upon privacy to the front and rear of the property, the house faces a gap within the properties on the opposite side of the road and a distance of some 29m separates the rear elevation of no. 1 Derby Road with the rear of no. 2 Walford Road, also a bungalow. This relationship and the adequate distances involved, is considered to meet the requirements of policy BE24 of the UDP (saved policies 2007).

It is considered that all the proposed habitable rooms, and those altered by the development will maintain an adequate outlook and source of natural light, therefore complying with Policy 4A.3 of the London Plan (2008).

Over 100m² of private amenity space would be retained in compliance with paragraph 5.13 of the HDAS: Residential Extensions and policy BE23 of the saved UDP (Saved Policies September 2007).

The application proposal will provide an additional two bedrooms within the property, creating a four bedroom dwelling and it has not been demonstrated that sufficient off street parking for 2 cars can be provided. As such, the development is considered to result in substandard parking provision to the Councils approved car parking standards, leading to possible on-street parking to the detriment of public and highway safety and contrary to AM14 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

Conclusion

The proposed roof extension and alterations will significantly enlarge the roof of the house and this is considered to be out of proportion with the existing bungalow and this enlargement would fail to harmonise with the surrounding area. As a result of the proposed height and depth of the alterations to the roof, it is also considered that the proposal would appear over-dominant and un-neighbourly to the residents of no. 3 Derby

Road. In addition, the application has failed to demonstrate that adequate off street parking can be provided for the property and it is therefore recommended that the proposal be refused.

6. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposed alteration and extension to the existing roof by reason of its height, and alteration from hip to gable would result in a visually incongruous and over dominant form of development that fails to harmonise with the established character of the street scene. As such, the proposal is contrary to policies BE13, BE15 and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and the guidance contained within the HDAS Supplementary Planning Document, Residential Extensions (December 2008).

2 NON2 Non Standard reason for refusal

The proposed roof extension by reason of its height and depth would be overly dominant and visually obtrusive form of development that would constitute an un-neighbourly form of development, resulting in a material loss of daylight and outlook to no. 3 Derby Road, contrary to policies BE20 and BE21 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and the HDAS Supplementary Planning Document: Residential Extensions (December 2008).

3 NON2 Non Standard reason for refusal

The proposal has not demonstrated that sufficient off street parking would be provided, therefore the development is considered to result in substandard parking provision to the Councils approved car parking standards, leading to possible on-street parking to the detriment of public and highway safety and contrary to AM14 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

INFORMATIVES

Standard Informatives

- 1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

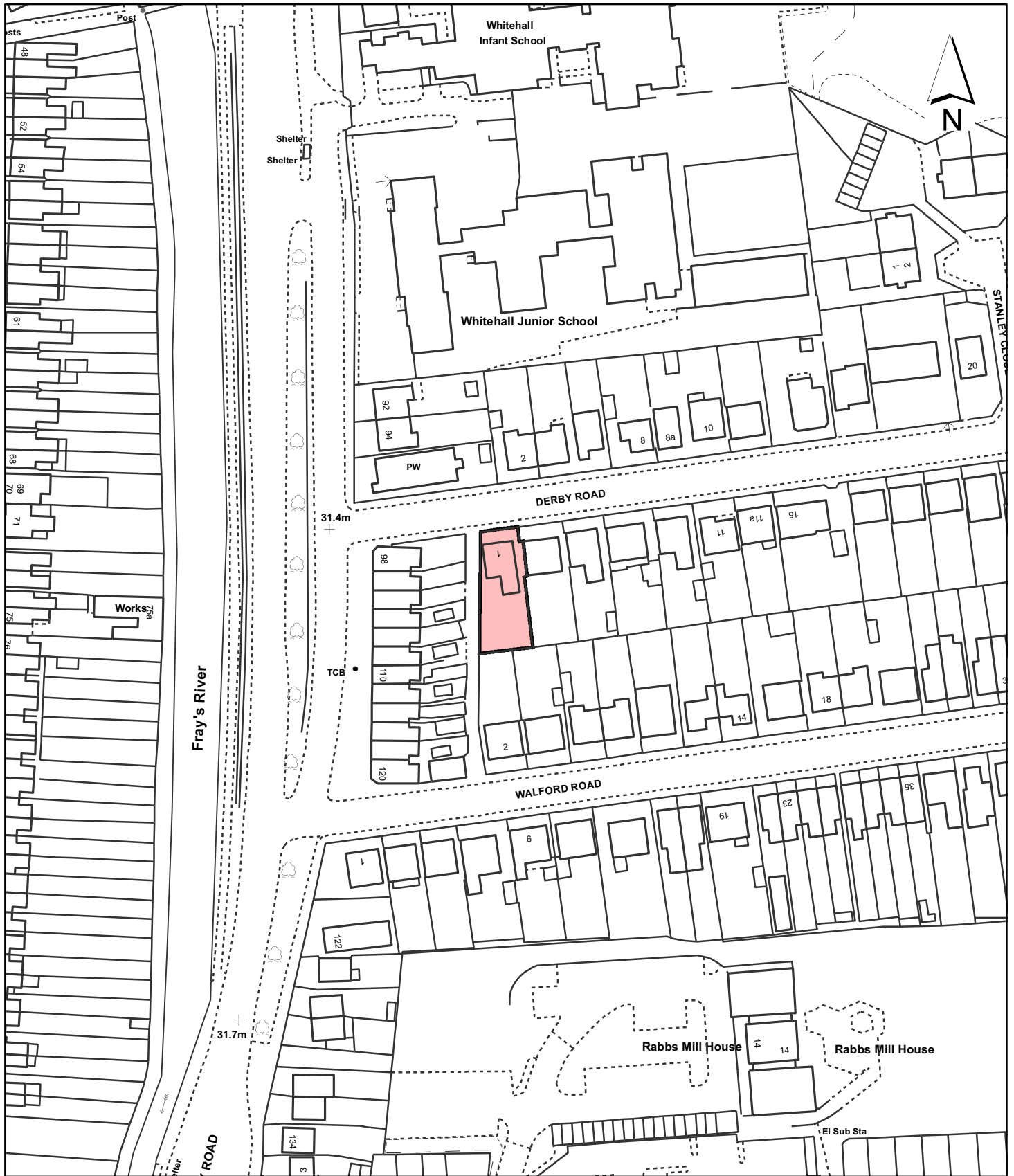
- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:

Policy No.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
HDAS	'Residential Extensions'
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
**	Pt 1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area Pt 1.16 To seek to ensure enough of new residential units are designed to wheelchair and mobility standards Pt 1.17 To seek to ensure the highest acceptable number of new dwellings are provided in the form of affordable housing Pt 1.26 To encourage economic and urban regeneration in the Hayes/West Drayton Corridor, designated Industrial and Business Areas (IBA's) and other appropriate locations Pt 1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.
AM14	New development and car parking standards.
BE22	Residential extensions/buildings of two or more storeys.

Contact Officer: Ceri Porter

Telephone No: 01895 250230



Notes

 Site boundary

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Site Address

**1 Derby Road
Uxbridge**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

60777/APP/2010/2713

Scale

1:1,250

Planning Committee

Central and South

Date

**January
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address TESCO STORES LTD GLENCOE ROAD HAYES

Development: Rear extension to bulk storage area.

LBH Ref Nos: 36999/APP/2010/2512

Drawing Nos: 3470 PL (20) 200 - Proposed Ground Floor and Mezzanine Plan
Design and Access Statement
3470 PL (90) 100 - Existing Site Plan
3470 PL (20) 102 - Existing Roof Plan
3470 PL (20) 204 - Proposed Elevations
3470 PL (20) 100 - Existing Ground Floor and Mezzanine Plan
3470 PL (20) 102 - Proposed Roof Plan
3470 PL (90) 200 - Proposed Site Plan
3470 PL (20) 104 - Existing Elevations
3470 PL (90) 001 - Location Plan
3470 PL (20) 200 - Proposed Floor Plans Rev B
3470 PL (20) 201- Proposed Ground Floor and Mezzanine Plan - coloured layout

Date Plans Received: 27/10/2010 **Date(s) of Amendment(s):**

Date Application Valid: 27/10/2010

1. SUMMARY

Planning permission is sought for the erection of a rear extension to the existing bulk storage facility of the existing superstore. Due to its proximity, it would be difficult to see from the wider street scene, although the development would be visible from within the car park and first floor windows of adjacent properties.

The site is located within the Willow Tree Lane Local Centre as identified in the Hillingdon Unitary Development Plan (Saved Policies September 2007). The proposed extension is considered to be in-keeping with the architectural style of this building and result in a well integrated addition to the site, thereby not resulting in visual harm.

Whilst it is noted, initially there may be an increase in deliveries to the site (while the new bulk storage area is stocked), as the retail floor area is not to be increased, it is considered the deliveries will resume back to the existing levels. 19 parking spaces would be lost to the proposal, however, these would be to the rear of the site mainly used by staff and the loss of these spaces is not considered to result in a material decrease in on-site parking provision, with adequate provision remaining, therefore no objection would be raised on existing highway safety or parking grounds.

With regard to noise and disturbance, after the initial period of additional deliveries to the site, it is expected these would return to the existing site circumstances. It has been confirmed that the operations relating to the deliveries/unloading of stock will remain as existing, with deliveries continuing to use the existing internal service corridor at the back of the store. As such, the application is not considered to have a detrimental impact on the amenities of neighbouring properties.

The application is recommended for APPROVAL subject to appropriate conditions.

2. **RECOMMENDATION**

APPROVAL subject to the following:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 and BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 M2 External surfaces to match existing building

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 NONSC Retail sales floor area

The retail sales floor area as shown on drawing 3470 PL (20) 201 and entitled 'Proposed Ground Floor and Mezzanine Plan - coloured layout' received by the Local Planning Authority on the 5th January 2011, shall not be increased without further written consent of the Local Planning Authority.

REASON

To safeguard the amenities of the neighbourhood and the neighbouring properties in compliance with policies BE19, OE1, OE3 and AM7 of the Hillingdon Unitary Development Policy (Saved Policies September 2007).

5 HLC3 Mean of escape doors

The proposed 'means of escape doors' (one double set and one single door) provided for the new bulk storage area hereby approved shall only be used in the event of an emergency and as such shall be alarmed and fitted with a break glass bolt or other device for as long as the development remains in existence. Full details of these doors shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development.

REASON

To ensure that the amenity of the occupiers of adjoining or nearby properties is not

adversely affected in accordance with Policy OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

6 NONSC Goods moved via the internal route

The goods delivered to the store and to be stored within the new bulk storage area hereby approved shall only be moved to this area via the internal route shown on drawing 3470 PL (20) 201 and 3470 PL (20) 200 Rev B as indicated by arrow, received by the Local Planning Authority on the 5th January 2011, shall not be moved externally without further written consent of the Local Planning Authority.

REASON

To safeguard the amenities of the neighbourhood and the neighbouring properties in compliance with policies BE19, OE1, OE3 and AM7 of the Hillingdon Unitary Development Policy (Saved Policies September 2007).

7 NONSC Hours of operation

The new bulk store extension area hereby approved shall not be operated outside the store's existing trading hours of 0800 hours to 2100 hours Mondays to Saturdays, 1000 hours to 1600 hours on Sundays and Bank Holidays, and not at all on Christmas day. No deliveries shall take place on Sundays or Bank/Public Holidays. No forklift trucks are permitted at any time in this area.

REASON

To safeguard the amenity of surrounding areas in accordance with policy OE5 of the Hillingdon Unitary Development Plan (Saved Policies September 2007).

8 NONSC Construction environmental management plan

Development shall not begin until, a Construction Environmental Management Plan (CEMP) has been submitted to, and approved in writing by, the Local Planning Authority. The CEMP shall comprise such combination of measures for controlling the effects of any demolition, construction and enabling works associated with the development as may be approved by the Local Planning Authority. The CEMP shall address issues including the phasing of the works, hours of work (particular attention should be given to the informative), noise and vibration impact, air quality, waste management, use of plant and equipment, site transportation and traffic management including routing, signage, permitted hours for construction traffic and construction materials deliveries. It will ensure appropriate communication with, the distribution of information to the local residents and the Local Planning Authority relating to relevant aspects of construction. Appropriate arrangement should be made for monitoring and responding to complaints relating to construction phases. All construction and enabling works at the development shall be carried out in accordance with the approved CEMP unless otherwise agreed in writing by the LPA.

REASON

To safeguard the amenity of surrounding areas in accordance with policy OE5 of the Hillingdon Unitary Development Plan.

9 NONSC Landfill gas protection

The details of suitable landfill gas protection measures for the extension shall be submitted to and agreed with the LPA. The agreed measures shall be implemented at the new extension to the satisfaction of the LPA.

REASON

The supermarket is near to a landfill site and was built on land reclaimed from a landfill site. Following investigations of the soil below the supermarket, gas protection measures were installed in 1991 on the new Tesco Store. Therefore for consistency and as a precaution gas protection measures should also be applied to the new extension. Advice on this condition can be obtained from the Environmental Protection Unit on 01895 277440.

10 TL1 Existing Trees - Survey

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Species, position, height, condition, vigour, age-class, branch spread and stem diameter of all existing trees, shrubs and hedges on and immediately adjoining the site.
- (ii) A clear indication of trees, hedges and shrubs to be retained and removed.
- (iii) Existing and proposed site levels.
- (iv) Routes of any existing or proposed underground works and overhead lines including their manner of construction.
- (v) Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees and other vegetation to be retained during construction work.

REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

11 TL2 Trees to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary

Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

12 TL3 Protection of trees during site clearance and development

Prior to the commencement of any site clearance or construction work, detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

13 TL21 Tree Protection, Building & Demolition Method Statement

Prior to development commencing on site, a method statement outlining the sequence of development on the site including demolition, building works and tree protection shall be submitted to and approved by the Local Planning Authority, and the scheme thereafter implemented in accordance with the approved method statement.

REASON

To ensure that trees can be satisfactorily retained on the site in accordance with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

14 NONSC BREEAM

Prior to commencement of development, a statement demonstrating that the proposed extension will achieve a BREEAM rating of excellent shall be submitted for approval in writing by the Local Planning Authority.

Thereafter and prior to occupation of the extension, the scheme shall be completed in strict accordance with the relevant approved details and be thereafter maintained for the life of the development.

REASON

To ensure that the development is designed to incorporate energy efficiency and sustainability principles in compliance with the requirements of Policy 4A.7 of the London Plan (February 2008).

15 H1 Traffic Arrangements - submission of details

Development shall not begin until details of all traffic arrangements (including where appropriate carriageways, footways, turning space, safety strips, sight lines at road junctions, kerb radii, car parking areas and marking out of spaces, loading facilities, closure of existing access and means of surfacing) have been submitted to and approved in writing by the Local Planning Authority. The approved development shall not be occupied until all such works have been constructed in accordance with the approved details. Thereafter, the parking areas, sight lines and loading areas must be permanently retained and used for no other purpose at any time.

REASON

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking, and loading facilities in compliance with Policies AM7 and AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan (February 2008).

16 OM2 Levels

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

17 DIS2 Access to Buildings for People with Disabilities

Development shall not commence until details of access to building entrances (to include ramped/level approaches, signposting, types and dimensions of door width and lobby openings) to meet the needs of people with disabilities have been submitted to and approved in writing by the Local Planning Authority. The approved facilities should be provided prior to the occupation of the development and shall be permanently retained thereafter.

REASON

To ensure that people with disabilities have adequate access to the development in accordance with Policy AM13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan Policies (February 2008) Policies 3A.13, 3A.17 and 4B.5.

18 NONSC Sale of food

A minimum of 1,800 square metres of the net sale area within the superstore shall be devoted to the sale of food for so long as the development hereby permitted remains in use.

REASON

To enable the Local Planning Authority to retain adequate control over the proposed use in accordance with guidance within Planning Policy Statement 4: Planning for Sustainable Economic Growth, and policies 3D.1 and 3D.3 of the London Plan (2008).

19 NONSC Restriction on opening hours

The food superstore shall not open for the sale of goods on Christmas Day, before 0800 hours and after 2100 on Mondays to Saturdays, and before 1000 hours and after 1600 hours on Sundays and bank holidays.

REASON

In the interests of residential amenity in accordance with policies BE19, OE1 and OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

20 NONSC Access to car park

On Sundays and bank holidays access to the customer car park shall be taken from the internal circulation roundabout only and the service barriers on the service road shall be kept closed.

REASON

In the interests of residential amenity in accordance with policies BE19, OE1 and OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

21 NONSC Service deliveries

On Sundays and bank holidays there shall be no service deliveries to the superstore save for newspaper deliveries.

REASON

In the interests of residential amenity in accordance with policies BE19, OE1 and OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

22 NONSC Use of machines on Sundays & Bank Holidays

On Sundays and bank holidays the machines used for cleaning the car park and collecting trolleys shall not be used outside the buildings.

REASON

In the interests of residential amenity in accordance with policies BE19, OE1 and OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

23 NONSC Compliance with original conditions

This permission does not override any of the original conditions attached to the existing building (planning permission ref: 36999E/89/1214 and appeal ref: T/APP/R5510/A/94/236865/P2) or its use and, as such, unless otherwise agreed in writing by the Local Planning Authority, all conditions still apply.

REASON

To ensure an appropriate form of development is provided and to safeguard the amenities of neighbouring properties and the surrounding area in compliance with policies BE13, BE15, BE19, BE20, BE21, BE24, OE1, OE3 and AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

1 152 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 153 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE5	Siting of noise-sensitive developments
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
AM7	Consideration of traffic generated by proposed developments.
AM8	Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
AM11	Improvement in facilities and promotion of safety and security at bus and rail interchanges; use of planning agreements to secure improvement in public transport services
AM14	New development and car parking standards.
LPP 3D.3	London Plan Policy 3D.3 - Maintaining and Improving Retail Facilities.
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.

3 11 Building to Approved Drawing

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 12 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

5 **13** **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

6 **16** **Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

7 **134** **Building Regulations 'Access to and use of buildings'**

Compliance with Building Regulations 'Access to and use of buildings' and Disability Discrimination Act 1995 for commercial and residential development.

You are advised that the scheme is required to comply with either:-

- The Building Regulations 2000 Approved Document Part M 'Access to and use of buildings', or with
- BS 8300:2001 Design of buildings and their approaches to meet the needs of disabled people - Code of practice. AMD 15617 2005, AMD 15982 2005.

These documents (which are for guidance) set minimum standards to allow residents, workers and visitors, regardless of disability, age or gender, to gain access to and within buildings, and to use their facilities and sanitary conveniences.

You may also be required make provisions to comply with the Disability Discrimination Act 1995. The Act gives disabled people various rights. Under the Act it is unlawful for employers and persons who provide services to members of the public to discriminate against disabled people by treating them less favourably for any reason related to their disability, or by failing to comply with a duty to provide reasonable adjustments. This duty can require the removal or modification of physical features of buildings provided it is reasonable.

The duty to make reasonable adjustments can be effected by the Building Regulation compliance. For compliance with the DDA please refer to the following guidance: -

- The Disability Discrimination Act 1995. Available to download from www.opsi.gov.uk
- Disability Rights Commission (DRC) Access statements. Achieving an inclusive environment by ensuring continuity throughout the planning, design and management of building and spaces, 2004. Available to download from www.drc-gb.org.
- Code of practice. Rights of access. Goods, facilities, services and premises. Disability discrimination act 1995, 2002. ISBN 0 11702 860 6. Available to download from

www.drc-gb.org.

· Creating an inclusive environment, 2003 & 2004 - What it means to you. A guide for service providers, 2003. Available to download from www.drc-gb.org.

This is not a comprehensive list of Building Regulations legislation. For further information you should contact Building Control on 01895 250804/5/6.

8

Nuisance from demolition and construction work is subject to control under the Control of Pollution Act 1974, the Clean Air Act 1993 and the Environmental Protection Act 1990. You should ensure that the following are complied with:

(i) Demolition and construction works should only be carried out between the hours of 0800 and 1800 on Monday to Friday and between the hours of 0800 and 1300 on Saturday. No works should be carried out on Sundays, Public or Bank Holidays;

(ii) All noise generated during such works should be controlled in compliance with British Standard 5228, and use 'best practicable means' as defined in section 72 of the Control of Pollution Act 1974;

(iii) Measures should be taken to eliminate the release of dust, odours and other emissions caused by the works that may create a public health nuisance. Guidance on control measures is given in 'The control of dust and emissions from construction and demolition: best practice guidelines', Greater London Authority, November 2006; and

(iv) No bonfires that create dark smoke or cause nuisance to local residents should be allowed at any time.

You are advised to consult the Council's Environmental Protection Unit to seek prior approval under Section 61 of the Control of Pollution Act 1974 if you anticipate any difficulty in carrying out the works other than within the normal working hours set out above, and by means that would minimise disturbance to adjoining premises. For further information and advice, contact the Environmental Protection Unit, 3S/02 Civic Centre, High Street, Uxbridge, Middlesex UB8 1UW (tel. 01895 250155).

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the northern side of Glencoe Road, Yeading, and falls within the Willow Tree Lane Local Centre as designated by the Unitary Development Plan (UDP) (Saved Policies September 2007). The site is occupied by a part one, part two storey Tesco superstore located in the north-east portion of the site, and a complementary petrol filling station, which is located in the southern corner of the site. An internal service road runs along the sites eastern and southern boundaries. The remainder of the site is occupied by a 600-space car park for customer use.

The surrounding area is predominantly residential, characterised by terraced houses.

There are 8 retail units with flats above (4-34 Jollys Lane) located immediately to the north of the application site. A number of gardens directly abut the site boundaries. Previously, the Willow Tree public house abutted part of the site's western boundary, but this has now been demolished and the site is currently undeveloped. A heavy vehicle testing station and a B&Q superstore are located to the south of Glencoe Road.

3.2 Proposed Scheme

The application seeks consent for an extension to the rear of the existing bulk storage area, to provide a larger bulk storage area for the store.

The extension would be sited to the rear of the building and would be 26.8m wide by 17.7m deep, and 6.6m high, finished with a flat roof, tying in with the existing roof in this position.

19 car parking spaces would be lost by the proposal.

The agent has provided the following clarification -

- The additional area is required as currently, there is no definitive split between non food storage and food storage within the existing bulk store facility. The area of bulk storage towards the rear right hand side of the store is used as a non food storage warehouse. But due to the shortage of storage space within this area and the need for secure areas of storage currently located elsewhere within the store, this makes the operation of the bulk store and the merchandising of the sales floor area more difficult. By having a specific non food bulk store on the right hand side of the store the sales floor can be merchandised more effectively and with the minimal amount of disruption to the customer and would enable Tesco to reorganize their existing bulk store warehouse areas and operations. The new storage area will be served via the existing service corridor at the back of the store and this will alleviate the need for items within the secure areas being transported from one side of the store to the other.
- The existing bulk store is serviced via the service corridor along the back of the store. It is the intention to utilise this same service corridor to stock the new bulk store area. There will be openings within the existing bulk store wall to access this new area. Enabling total flexibility and use of both these areas.
- Currently, all racking within secure non food storage areas are either 2.5m or 3.5m high. It is proposed that the same size racking be used within the new bulk store area. Therefore, there is no need for the use of forklifts within this area
- There will be openings within the existing bulk store wall to access the new bulk store area. This would enable Tesco to reorganize all their existing bulk storage warehouse areas and operations. The existing bulk store will form part of the new storage area. It is not the intention to use these areas other than for storage.
- Due to the additional area of bulk storage there could initially be an increase in deliveries. But, once the operational procedures of this area are resolved, together with a more efficient merchandising of stock to the sales floor then this initial increase should resolve itself back to current numbers. Any increase in turnover following the reorganisation of this area would be dependent upon the efficiency and demand of the merchandising. This will not be known until the bulk store is in operation.
- The proposed hours of operation for this new bulk storage area would be exactly the same as the existing stores operating hours.
- The relationship between the new bulk store operation and the existing delivery area will not change. All deliveries will continue to use the existing facility with the trucking route unchanged. This being along the service corridor at the back of the store.
- The area of staff car parking around the new storage area that has been reconfigured at a loss of 19no spaces. Currently, these spaces cannot be relocated around the site

without looking at significant car park alterations. Information received from Tesco is that there is an excess of car parking of some 40no spaces.

3.3 Relevant Planning History

36999/A/85/2071 Tesco Superstore & Petrol Station Glencoe Road Hayes
Mixed dev. on 47.5000 hectares (outline)(P)

Decision: 09-06-1986 Approved

36999/ADV/2008/50 Tesco Store Glencoe Road Hayes
INSTALLATION OF VARIOUS INTERNALLY, EXTERNALLY AND NON-ILLUMINATED
FASCIA, FREE-STANDING AND WINDOW SIGNS (PART RETROSPECTIVE APPLICATION).

Decision: 04-06-2008 SD

36999/ADV/2010/71 Tesco Store Glencoe Road Hayes
Installation of 8 x non-illuminated fascia signs, 2 x internally illuminated fascia signs, 1 x
externally illuminated fascia sign, 12 x non-illuminated flag pole signs, 4 x non-illuminated free
standing directional signs, 5 x internally illuminated free standing signs and 4 x non-illuminated
free standing signs (Retrospective Application)

Decision:

36999/AE/96/1310 Tesco Store Glencoe Road Hayes
Alterations to site layout to provide new delivery route, erection of twelve trolley bay shelters

Decision: 20-11-1996 Approved

36999/APP/2001/1147 Tesco Superstore & Petrol Station Glencoe Road Hayes
ERECTION OF AN EXTENSION TO THE SALE AND STORAGE AREAS

Decision: 14-12-2001 Approved

36999/APP/2001/814 Tesco Store Glencoe Road Hayes
INSTALLATION OF A CASH DISPENSING MACHINE

Decision: 09-05-2001 Approved

36999/APP/2002/2613 Tesco Superstore, Glencoe Road Hayes
ALTERATIONS AND ADDITIONS TO PLANNING PERMISSION REF.36999/APP/2001/1147
DATED 14/12/2001 INCORPORATING CHANGES TO THE BULK STORE AND CAGE
MARSHALLING AREAS, CAR PARK AND EXTERNAL ELEVATIONS

Decision: 09-07-2003 Approved

36999/APP/2004/2154 Tesco Superstore Glencoe Road Hayes

ERECTION OF A CANOPY AND INSTALLATION OF TWO ROLLER SHUTTERS TO PROVIDE A HOME DELIVERY SERVICE

Decision: 31-03-2005 Approved

36999/APP/2006/659 Tesco Superstore Glencoe Road Hayes

VARIATION OF CONDITION 1 (TO ALLOW THE FOODSTORE AND ASSOCIATED FILLING STATION TO TRADE 24 HOURS, 7 DAYS A WEEK SUBJECT TO SUNDAY TRADING RESTRICTIONS ON THE FOODSTORE) OF PLANNING APPEAL REF.T/APP/R5510/A/94/236865/P2 DATED 10/01/1995 (PLANNING APPLICATION REF.36999/T/93/878).

Decision: 12-07-2006 Refused

36999/APP/2007/2494 Tesco Store Glencoe Road Hayes

REPLACEMENT OF EXISTING RECYCLING UNITS WITH A SINGLE TOMRA RECYCLING UNIT TOGETHER WITH ASSOCIATED ENABLING WORKS

Decision: 22-05-2008 Approved

36999/APP/2007/803 Tesco Store Glencoe Road Hayes

VARIATION OF CONDITION 1 (TO EXTEND TRADING HOURS OF THE TESCO STORE AND PETROL FILLING STATION FROM 0800 - 21:00 HOURS BY 1:45 HOURS TO 0800 - 22:45 HOURS MONDAY TO SATURDAY EXCEPTING BANK HOLIDAYS) OF APPEAL DECISION REFERENCE: T/APP/R5510/A/94/230865/P2 DATED 10 JANUARY 1995. (PLANNING APPLICATION REF: 36999T/93/878 DATED MARCH 1994)

Decision: 11-01-2008 Refused **Appeal:** 12-09-2008 Dismissed

36999/APP/2007/829 Tesco Store Glencoe Road Hayes

INSTALLATION OF EXTERNAL ATM AND ANTI-RAM RAID BOLLARDS.

Decision: 27-02-2008 Refused

36999/APP/2008/1173 Tesco Store Glencoe Road Hayes

CONSTRUCTION OF GLAZED LOBBY TO MAIN ENTRANCE AND ERECTION OF A SINGLE STOREY FRONT ADDITION UNDER EXISTING CANOPY ADJACENT TO THE CAFE AREA.

Decision: 03-06-2008 Approved

36999/APP/2008/1458 Tesco Store Glencoe Road Hayes

VARIOUS CHANGES TO CAR PARK TO INCLUDE THE RELOCATION OF RECYCLING FACILITIES, INCREASE OF RADII ON THE END OF AISLES AND INTRODUCTION OF SPEED REDUCTION ROUNDALS

Decision: 28-08-2008 Refused

36999/APP/2009/1959 Tesco Store Glencoe Road Hayes

Installation of new doors to existing entrance lobby.

Decision: 13-11-2009 Approved

36999/APP/2009/2371 Tesco Stores Ltd Glencoe Road Hayes

Installation of a combined cooling, heating and power (C/CHP) unit and relocation of existing generator, compactor and container.

Decision: 22-12-2009 Approved

36999/APP/2010/1361 Tesco Store Glencoe Road Hayes

Variation of condition 1 (hours of opening) of the Secretary of State's Appeal Decision ref: T/APP/R5510/A/94/236865/P2 (LBH ref: 36999/T/93/0878) dated 10/01/1995, to extend the opening hours of the food superstore from 07.00 hours to 22.30 hours on Mondays to Saturdays.

Decision: 15-09-2010 Refused

36999/APP/2010/2526 Tesco Stores Ltd Glencoe Road Hayes

Installation of new external car park lighting (Retrospective application.)

Decision: 30-12-2010 Approved

36999/APP/2010/2527 Tesco Stores Ltd Glencoe Road Hayes

Installation of replacement covered trolley bays within car park (Retrospective application.)

Decision: 30-12-2010 Approved

36999/B/87/1204 Willow Tree Lane, Jollys Lane & Glencoe Road Hayes

App of reserved matters pursuant to Outline P/P ref:36999A/85/2071 dated 9.6.86

Decision: 09-08-1990 Withdrawn

36999/C/87/1732 Tesco Superstore & Petrol Station Glencoe Road Hayes

Erection of retail superstore, ancillary carparking & petrol filling station

Decision: 15-06-1990 Withdrawn

36999/D/87/1936 Tesco Superstore & Petrol Station Glencoe Road Hayes

Erection of a retail superstore, ancillary car park, & petrol filling station (outline)

Decision: 03-07-1990 Withdrawn

36999/E/89/1214 Willow Tree Ln/ Glencoe Rd Jollys Lane Hayes

Erection of retail store, 12 shop units, with residential accommodation over, surgery, public house/restaurant, public conveniences, petrol filling station, community facilities, car parking and landscaping

Decision: 01-05-1990 Approved

36999/F/90/1427 Willow Tree Ln/ Glencoe Rd Jollys Lane Hayes

Erection of district shopping centre incorporating 993 sq metres retail shops, 500 sq metres financial and professional services, public house, cafeteria/restaurant, 2500 sq metres craft studio/ workshop/retail/offices, 2000 sq metres offices with associated car parking and landscaping

Decision: 02-11-1990 NFA

36999/G/90/1842 Willow Tree Ln/ Glencoe Rd Jollys Lane Hayes

Erection of a district shopping centre incorporating 993m² retail shops, 500m² financial and professional services, doctors surgery, public house/wine bar, cafe/restaurant, 2506m² craft studios/workshops/retail/offices, 2011m² offices, community centre plus associated car parking and landscaping

Decision: 08-12-1992 Approved

36999/J/91/1379 Willow Tree Ln/ Glencoe Rd Jollys Lane Hayes

Reserved matters (details of siting, design, external appearance, landscaping and means of access) in compliance with condition 1 and details in compliance with condition 6 (finished levels), condition 7 (access to buildings) and condition 11 (disposal of surface water and drainage) of outline planning permission ref. 36999E/89/1214 dated 1.5.90; Erection of retail store, 12 shop units with residential accommodation over, surgery, public house/restaurant, public conveniences, petrol filling station, community facilities, car parking and landscaping

Decision: 13-12-1991 Approved

36999/M/91/1868 Willow Tree Ln/ Glencoe Rd Jollys Lane Hayes

Details of traffic arrangements, materials, landscaping, means of enclosure, finished levels, disabled access and site survey for contamination levels in compliance with conditions 2,3,4,5,6,7 and 14 of outline planning permission ref. 36999E/ 89/1214 dated 1.5.90; Erection of a district shopping centre

Decision: 09-12-1992 Approved

36999/N/91/3620 Willow Tree Ln/ Glencoe Rd Jollys Lane Hayes

Installation of free standing 'V' sign

Decision: 31-01-1992 ALT

36999/P/92/0596 Willow Tree Ln/ Glencoe Rd Jollys Lane Hayes

Variation of condition 12 of planning permission ref:36999E/89/1214 to allow opening of the

store on Sundays between 10.00am and 6.00pm

Decision: 12-06-1992 Refused

36999/R/92/0748 Willow Tree Ln/ Glencoe Rd Jollys Lane Hayes

Amended design of superstore approved under planning permission ref. 36999J/91/1379 dated 13.12.91 to include extension to the store and enclosure of the loading dock

Decision: 06-07-1992 Approved

36999/T/93/0878 Tesco Superstore & Petrol Station Glencoe Road Hayes

Variation of condition 12 of planning permission ref. 36999E/89/1214 dated 1.5.90 to allow trading on Sundays between 1000 and 1800 hours

Decision: 08-03-1994 Refused **Appeal:** 10-01-1995 Allowed

36999/W/93/1785 East Of Jollys Lane Hayes

Erection of a two storey block comprising 8 x 1-bed flats above 4 retail (A1) units, two office (A2) units and two takeaway (A3) units, plus associated parking and landscaping and erection of a separate doctor's surgery

Decision: 01-06-1994 Approved

36999/X/93/1951 Willow Tree Ln/ Glencoe Rd Jollys Lane Hayes

Variation of condition 1 of planning permission reference 36999E/89/1214 dated 11.5.90 for mixed development to allow a further two years for submission of details of reserved matters in respect of the District Centre

Decision: 06-04-1994 Approved

Comment on Relevant Planning History

None which specifically relates to this application

4. Planning Policies and Standards

The following Planning Policy Guidance Notes are applicable to the application.

Planning Policy Guidance 24 - Planning and Noise
Planning Policy Statement 4: Planning for Sustainable Economic Growth

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE13 New development must harmonise with the existing street scene.

BE15	Alterations and extensions to existing buildings
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE5	Siting of noise-sensitive developments
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
AM7	Consideration of traffic generated by proposed developments.
AM8	Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
AM11	Improvement in facilities and promotion of safety and security at bus and rail interchanges; use of planning agreements to secure improvement in public transport services
AM14	New development and car parking standards.
LPP 3D.3	London Plan Policy 3D.3 - Maintaining and Improving Retail Facilities.
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.

5. Advertisement and Site Notice

- 5.1 Advertisement Expiry Date:- **30th November 2010**
- 5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Cllr Allam requested that the application be presented to the Central and South Planning Committee

5 Site Notices were displayed around the site, 1 on Jollys Lane, 2 on the Glencoe Road, 1 at the junction which joins Glencoe Road to the entrance of Kennet Drive/Sharpness Close and Telford Way, and 1 opposite the junction of Telford Way and Marsworth Close.

45 neighbours and interested parties have been consulted and two letters of representation have been received which make the following comments -

1. The rear extension will be close to the back of my house. My bedroom and living room face the service road which provides access to delivery lorries loading bays. The increased storage area will have more impact us - more lorry noise, more re Fridgeration noise, deliveries through the night, and more pollution.
2. If they need more storage perhaps they should look elsewhere, where there is enough land for their requirements
3. I have not received a letter informing me of this application.
4. Having looked at the paperwork I have concerns regarding the operation of this storage area. The loading bay and store are not directly connected, so how can goods get from one to another.
5. I am concerned too many car parking spaces are being lost, these are mainly used by staff and official visitors. Where will these be integrated when the store already suffers from parking and

traffic issues at the weekends.

6. The storage is clearly for operational purposes, but the store although recently showed more retail floor space after removing an internal wall.

7. The store does not have extended hours, it is not 24hr operation, would the storage be for fewer deliveries?

8. I am against the application, until I have been fully consulted and we all have our rightful say.

Internal Consultees

Environmental Protection Unit - Further to your memo dated 3rd November 2010 in respect of the above consultation, relating to the introduction of a new bulk store to the right hand side of the store. My comments are highlighted below.

The proposal seeks that the extension to provide addition to the existing bulk storage area, which will be operational within the existing store operation hours and used for storage only to be operational within the existing trading hours and no use of noise equipment such forklift will be used given the size of the raking.

The design and access statement accompanied with supporting email sent from hln architects clarifies the position, stating that existing operations will not be intensified by the proposed new bulk store, which may result in increased deliveries to the site. This information suggests that there will not be significant increases in capacity of the store or increased traffic generation other than during the construction phases. In view of this, any EPU objection on noise grounds cannot be justified at the present stage unless refusal is recommended on other overriding planning issues. However, prior to any approval granted, the following condition is recommended in light with ongoing complaint of noise emanating from the site premises.

Condition 1

The new bulk store extension area hereby approved shall not be operated outside the store s existing trading hours. No forklift trucks are permitted at any time in this area.

Reason: To safeguard the amenity of surrounding areas in accordance with policy OE5 of the Hillingdon Unitary Development Plan.

Condition 2

C5 Construction environmental management plan

Development shall not begin until, a Construction Environmental Management Plan (CEMP) has been submitted to, and approved in writing by, the Local Planning Authority. The CEMP shall comprise such combination of measures for controlling the effects of any demolition, construction and enabling works associated with the development as may be approved by the Local Planning Authority. The CEMP shall address issues including the phasing of the works, hours of work (particular attention should be given to the informative), noise and vibration impact, air quality, waste management, use of plant and equipment, site transportation and traffic management including routing, signage, permitted hours for construction traffic and construction materials deliveries. It will ensure appropriate communication with, the distribution of information to the local residents and the Local Planning Authority relating to relevant aspects of construction. Appropriate arrangement should be made for monitoring and responding to complaints relating to construction phases. All construction and enabling works at the development shall be carried out in accordance with the approved CEMP unless otherwise agreed in writing by the LPA.

Reason: To safeguard the amenity of surrounding areas in accordance with policy OE5 of the Hillingdon Unitary Development Plan.

Informative

INF 20 Control of environmental nuisance from construction work

Nuisance from demolition and construction work is subject to control under the Control of Pollution Act 1974, the Clean Air Act 1993 and the Environmental Protection Act 1990. You should ensure that the following are complied with:

(i) Demolition and construction works should only be carried out between the hours of 0800 and 1800 on Monday to Friday and between the hours of 0800 and 1300 on Saturday. No works should be carried out on Sundays, Public or Bank Holidays;

(ii) All noise generated during such works should be controlled in compliance with British Standard 5228, and use best practicable means as defined in section 72 of the Control of Pollution Act 1974;

(iii) Measures should be taken to eliminate the release of dust, odours and other emissions caused by the works that may create a public health nuisance. Guidance on control measures is given in The control of dust and emissions from construction and demolition: best practice guidelines , Greater London Authority, November 2006; and

(iv) No bonfires that create dark smoke or cause nuisance to local residents should be allowed at any time.

You are advised to consult the Council's Environmental Protection Unit to seek prior approval under Section 61 of the Control of Pollution Act 1974 if you anticipate any difficulty in carrying out the works other than within the normal working hours set out above, and by means that would minimise disturbance to adjoining premises. For further information and advice, contact the Environmental Protection Unit, 3S/02 Civic Centre, High Street, Uxbridge, Middlesex UB8 1UW (tel. 01895 250155).

I refer to your recent consultation to the EPU regarding the above application. I can provide the comments below and I recommend a condition with regard to the installation of gas protection measures.

The site was originally on part of a wider landfill site and is next to the landfilled park. In the area of the Tesco development the landfill was removed and replaced with a clean clay fill. This work was carried out in the 1980s. Before the store was built in 1991 a landfill gas survey was carried out at the site to assess gas levels in the ground. Gas was found in the clay fill below the Tesco site. Gas protection measures were designed into the Tesco building by the developer and a plan was provided showing the proposed work. The works involved gas venting and a gas membrane. The measures appear to have been installed according to Building Control records.

To ensure a consistent level of gas protection at the building some gas protection measures should be built into the new extension. The developer's consultant would need to assess the risk and design an appropriate level of protection most likely similar to the rest of the store. I would recommend the condition below. Please contact me if you want to discuss this application.

Condition

The details of suitable landfill gas protection measures for the extension shall be submitted to and agreed with the LPA. The agreed measures shall be implemented at the new extension to the satisfaction of the LPA.

Reason

The supermarket is near to a landfill site and was built on land reclaimed from a landfill site. Following investigations of the soil below the supermarket, gas protection measures were installed

in 1991 on the new Tesco Store. Therefore for consistency and as a precaution gas protection measures should also be applied to the new extension. Advice on this condition can be obtained from the Environmental Protection Unit on 01895 277440.

Highway Engineer - The application is acceptable

Trees and Landscape Officer - The site is occupied by a Tesco superstore, within an established landscaped car park. The tree and other planting on the site has been implemented in accordance with planning conditions attached to the original (and subsequent) planning consents for the store. There are no Tree Preservation Orders on, or close to, the site, nor does it fall within a designated Conservation Area.

The proposal is to build a single-storey rear extension on the north-east corner of the site / south-east elevation of the existing building. The extension will occupy an area currently used for car parking at what is perceived to be the rear of the site, close to the service yard.

LANDSCAPE CONSIDERATIONS: Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

- In this case, the proposal has little impact on the current landscape setting with trees to be retained in the nearby car park and on the eastern boundary. There will be little space or opportunity to secure additional tree planting. The boundary screen planting on the east boundary is well-established and
- Operational space for the contractor will be required to build the extension. This needs to be specified in a method statement which should also safeguard and, if necessary, replace trees which may be affected by the work.

RECOMMENDATIONS: No objection in principle subject to conditions TL1, TL2, TL3 and TL21.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application relates to an existing superstore site and it is therefore considered the principle for the use on the site has been established.

Policy BE13 of the Adopted Hillingdon UDP (Saved Policies, September 2007) states that development will not be permitted if the layout and appearance fail to harmonise with the existing street scene, and BE15 states alterations and extensions to existing buildings will be permitted where they harmonise with the scale, form, architectural composition and proportions of the original building.

The proposal relates to the erection of a rear extension to the existing bulk storage facility of the existing superstore. Due to its proximity, only limited vantage would be gained from the wider street scene, although the development would be visible from within the car park and first floor windows of adjacent properties.

The extension is considered inkeeping with the existing building to which it would be applied and would satisfactorily integrate with existing site characteristics. As such, the principle of the development is considered acceptable.

7.02 Density of the proposed development

Not applicable to this application

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application

7.04 Airport safeguarding

Not applicable to this application

7.05 Impact on the green belt

Not applicable to this application

7.07 Impact on the character & appearance of the area

The proposal relates to the erection of a rear extension to the existing bulk storage facility of the existing superstore. Due to its proximity, only limited vantage would be gained from the wider street scene, although the development would be visible from within the car park and first floor windows of adjacent properties.

The extension would be finished with a flat roof, matching that of the existing section of building to which it would be applied, thereby resulting in a fully integrated addition. As such, the design of the extension is considered to be appropriate to the building and the site to which they relate, and therefore would not appear as an obtrusive feature or result in a material harm to the character and appearance of the existing site or the wider area. Thereby, complying with policies BE13 and BE15 of the UDP (Saved Policies September 2007).

7.08 Impact on neighbours

With regard to the proposed impact of the proposal in relation to the amenities of any nearby properties. It is considered the main properties to be affected would be those who share their residential boundaries with the internal service road to the site.

The proposed extension would be sited over 13m away from these shared boundaries and therefore it is not considered a material loss of amenity would arise to these adjacent properties by reason of loss of outlook, sunlight or overshadowing. Furthermore, no adverse privacy impacts are anticipated given the distance to the nearest residential property. As such, the proposal is in accordance with Policies BE20, BE21 and BE24 of the UDP (Saved Policies September 2007).

With regard to noise and disturbance, these issues are dealt with below.

7.09 Living conditions for future occupiers

Not applicable to this application

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The site is directly accessible from the Hayes By-pass. The local road layout is such that the majority of vehicles accessing the site come from the Hayes By-pass, without passing through surrounding residential areas.

The proposal would not result in an increase in retail floor space at this site and whilst there would initially be an increase in deliveries to the site (to stock this additional area), then the delivery numbers should resolve themselves back to the existing situation.

The proposal would result in the loss of 19 parking spaces to the rear of the site. This area is mainly used by staff. It is considered adequate provision still remains on the site.

This proposal is not considered to result in a material increase in traffic movement/deliveries to warrant the refusal of planning permission on these grounds alone, as such, it is considered to comply with Policy AM7 of the UDP (Saved Policies September 2007).

7.11 Urban design, access and security

See above

7.12 Disabled access

The proposed extension to the existing building appears to comply with Part M Building Regulations and therefore would also comply with the intentions of Policy 3A.4 and 3A.5 of the London Plan and the Council's Accessible Hillingdon SPD January 2010. As such it is recommended any approval issued has an informative added reminding the applicant of the need to comply with these regulations.

7.13 Provision of affordable & special needs housing

Not applicable to this application

7.14 Trees, landscaping and Ecology

The Trees and Landscape Officer has commented that the site is within an established landscaped car park. The tree and other planting on the site has been implemented in accordance with planning conditions attached to the original (and subsequent) planning consents for the store. There are no Tree Preservation Orders on, or close to, the site, nor does it fall within a designated Conservation Area. The extension will occupy an area currently used for car parking at what is perceived to be the rear of the site, close to the service yard. Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

In this case, the proposal has little impact on the current landscape setting with trees to be retained in the nearby car park and on the eastern boundary. There will be little space or opportunity to secure additional tree planting. The boundary screen planting on the east boundary is well-established and operational space for the contractor will be required to build the extension. This should be specified in a method statement which should also safeguard and, if necessary, replace trees which may be affected by the work. Therefore subject to appropriate conditions the proposal is considered to comply with Policy BE38 of the UDP (Saved Policies September 2007)

7.15 Sustainable waste management

Not applicable to this application

7.16 Renewable energy / Sustainability

In order to ensure a sustainable form of development is provided, a condition requiring the applicant to achieve a BREEAM rating of excellent is proposed.

7.17 Flooding or Drainage Issues

Not applicable to this application

7.18 Noise or Air Quality Issues

Objectors have also raised concerns regarding noise and disturbance and additional pollution created as a result of the proposal. The site is located within an Air Quality Management Area. The Environmental Protection Officer has stated that there would not be a significant increase in capacity of the store or increased traffic generation, other than in the construction phases, and therefore subject to safeguarding conditions relating to; hours of operation; no forklifts to be used; and the submission of a construction environmental management plan to be submitted to and approved in writing before the development commences, no objection would be raised. It is therefore considered that the proposal would not materially impact on residential amenity and as such, this aspect of the proposal would comply with Policies OE1 and OE3 of the UDP (Saved Policies September 2007).

7.19 Comments on Public Consultations

With regard to points 3 and 8, new letters were sent out to a wider consultation list on the 2nd December 2010, which included this writer's address

Point 6, it is noted an additional 41m² has already been given over to retail sales since the

application for the alterations of the erection of an extension to the sales and bulk storage areas, approved by application 36999/APP/2002/2613 dated 24/10/2002. As such, it is recommended any permission issued has a condition applied relating to the maximum amount of retail floor space allowed.

7.20 Planning obligations

Not applicable to this application

7.21 Expediency of enforcement action

Not applicable to this application

7.22 Other Issues

None

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

Not applicable to this application

10. CONCLUSION

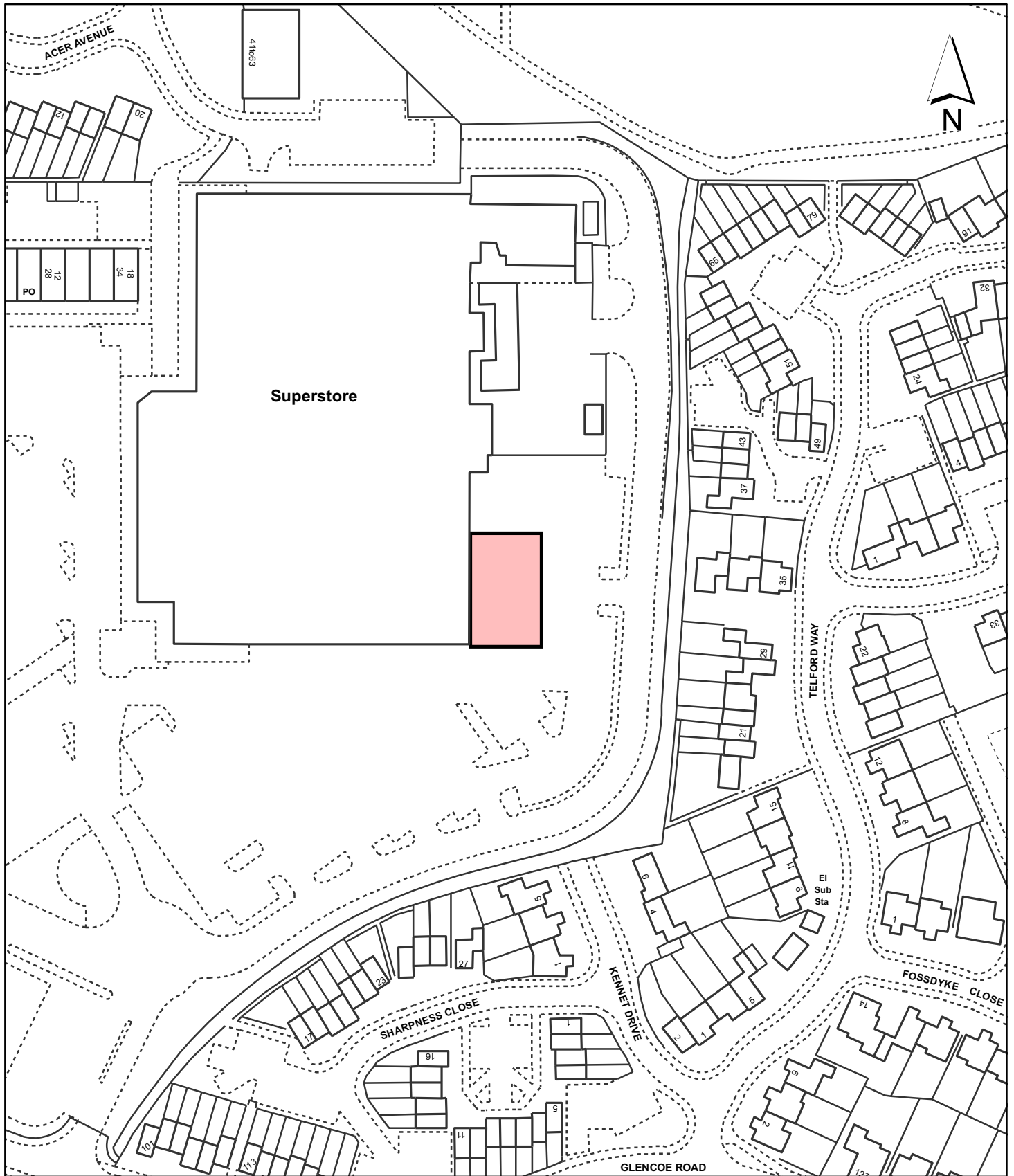
In summary, it is considered the proposal would not result in a material loss of amenity to the surrounding area or neighboring properties, thereby complying with the relevant policies contained in the UDP (Saved Policies September 2007) and the London Plan and as such, the proposal is recommended for Approval subject to suitable safeguarding conditions.

11. Reference Documents


- (a) The Unitary Development Plan (Saved Policies September 2007)
- (b) The London Plan 2008
- (c) Planning Policy Guidance Note No.24 - Planning and Noise
- (d) SPD: Noise
- (e) letters of representation received

Contact Officer: Catherine Hems

Telephone No: 01895 250230



Notes

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Site Address	
Tesco Stores Ltd. Glencoe Road Yeading	
Planning Application Ref:	Scale
36999/APP/2010/2512	1:1,250
Planning Committee	Date
Central and South	January 2011

LONDON BOROUGH OF HILLINGDON

Planning, Environment & Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



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Plans for Central & South Planning Committee

25th January 2011



HILLINGDON
LONDON



INVESTOR IN PEOPLE

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Report of the Head of Planning & Enforcement Services

Address UNDERGROUND OPERATIONS ROOM, RAF UXBRIDGE HILLINGDON
ROAD UXBRIDGE

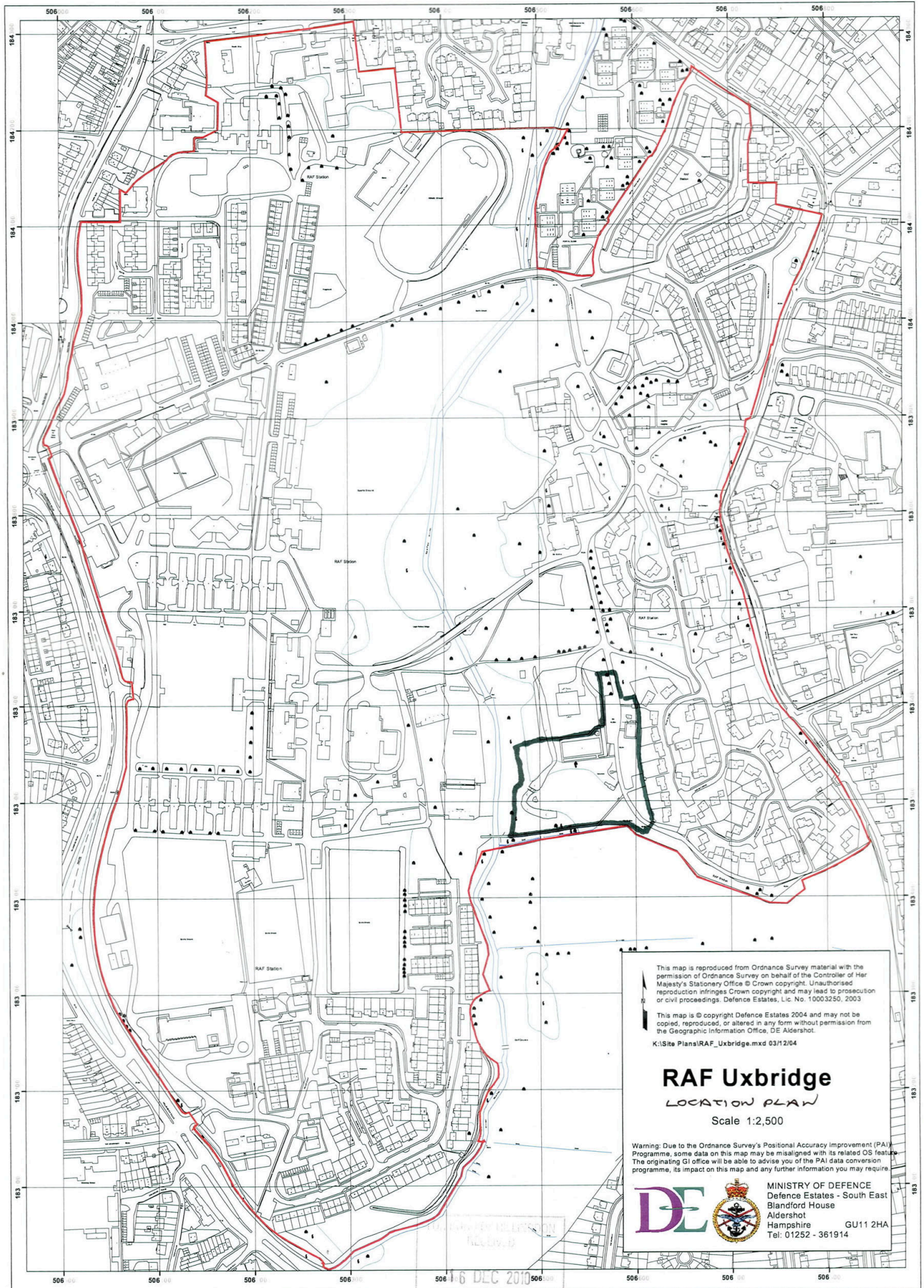
Development: Erection of a 2.4m high metal railing fence around historic bunker.

LBH Ref Nos: 585/APP/2010/2902

Date Plans Received: 16/12/2010

Date(s) of Amendment(s):

Date Application Valid: 06/01/2011



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K:\Site Plans\RAF_Uxbridge.mxd 03/12/04

RAF Uxbridge

LOCATION PLAN

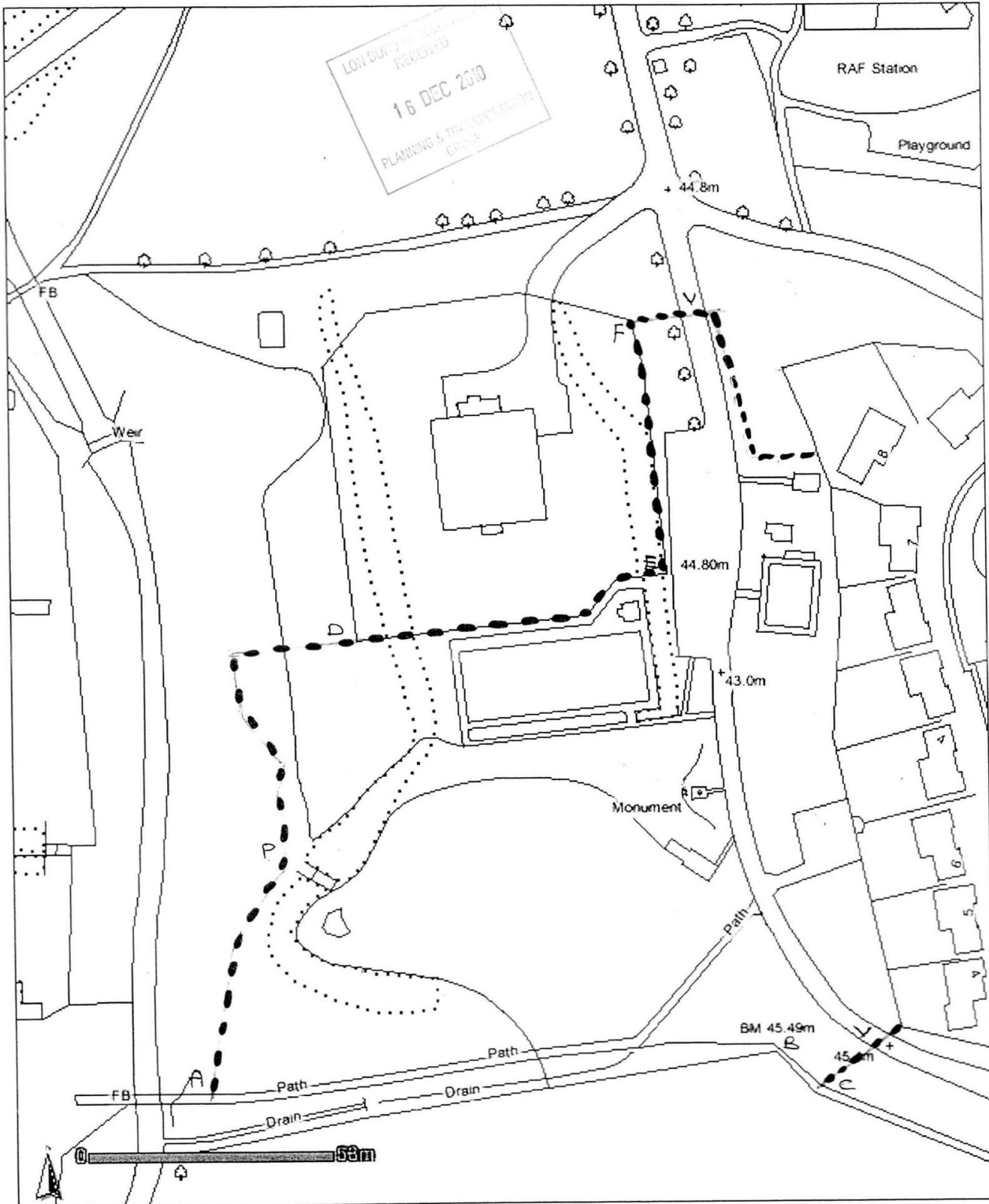
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MINISTRY OF DEFENCE
 Defence Estates - South East
 Blandford House
 Aldershot
 Hampshire GU11 2HA
 Tel: 01252 - 361914

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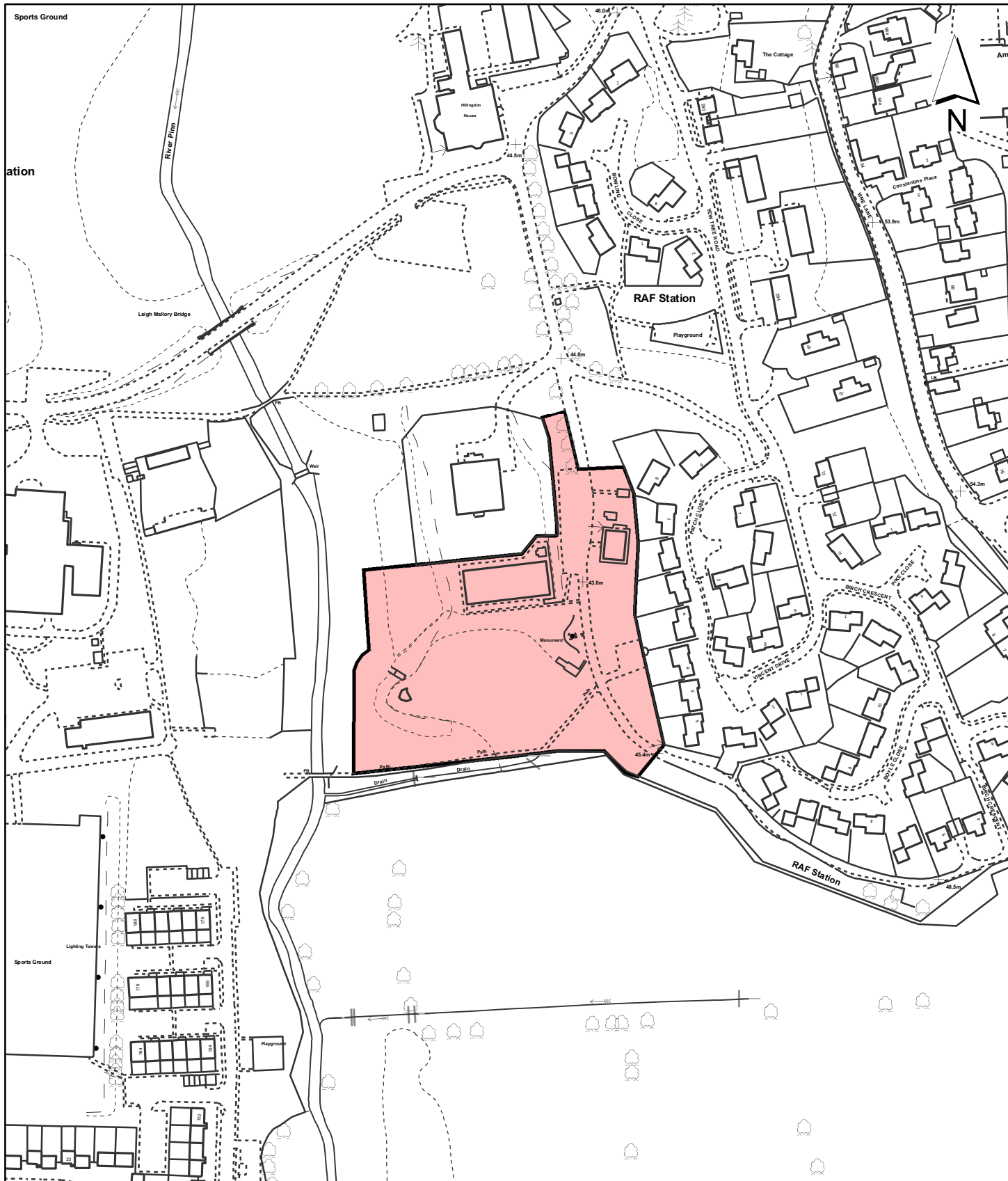


Uxbridge - Bunker Enclave


Date: 26.5.2010
 Bounding coordinates: 506425, 183440 ; 506638, 183702



MINISTRY OF DEFENCE
 Defence Estates



Notes

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Site Address	
Underground Operations Room RAF Uxbridge, Hillington Road Uxbridge	
Planning Application Ref:	Scale
585/APP/2010/2902	1:2,500
Planning Committee	Date
Central and South	January 2011

LONDON BOROUGH OF HILLINGDON

Planning, Environment & Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address 70 STATION ROAD WEST DRAYTON

Development: Erection of a residential building to accommodate 35 flats (consisting of 12 one-bedroom units, 21 two-bedroom units and 2 three-bedroom units) with associated parking and landscaping.

LBH Ref Nos: 2954/APP/2010/1810

Date Plans Received:	04/08/2010	Date(s) of Amendment(s):	12/01/2010
Date Application Valid:	08/10/2010		04/08/2010
			07/10/2010
			06/12/2010
			16/12/2010

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Site Area 0.66 acres
 Parking
 35 Residential Spaces
 35 Secure Cycle Storage facilities

C cctv - 12 No Cameras

for approval

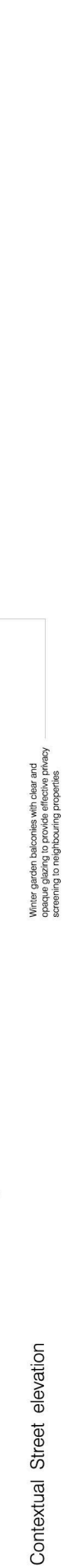
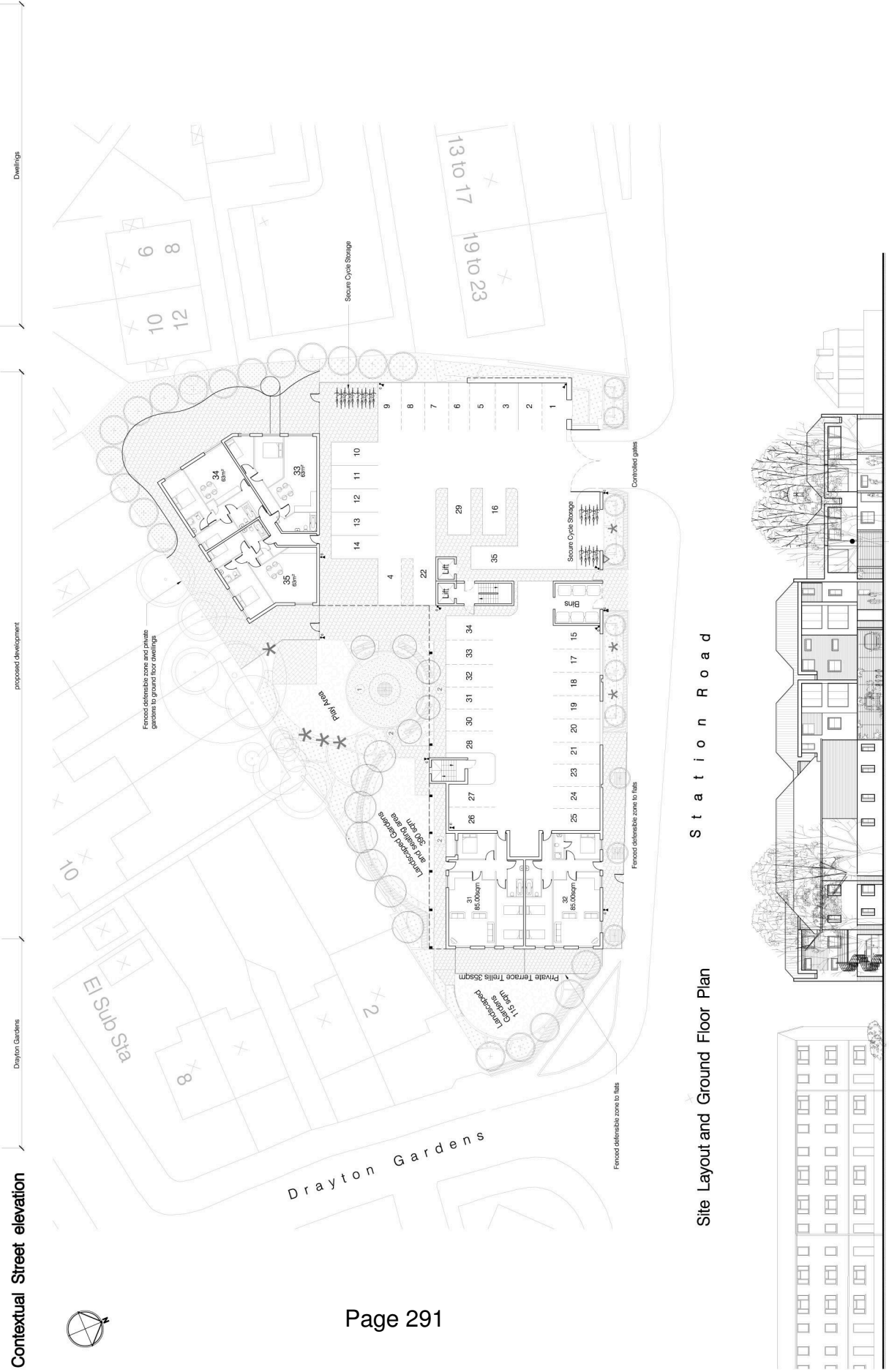
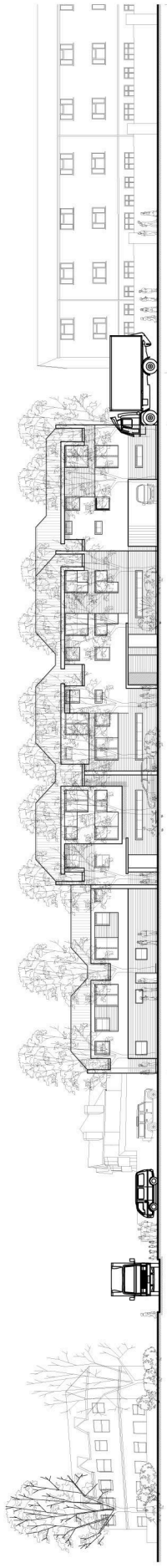


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 www.bbrop.co.uk

CONTRACT
 Proposed Residential
 Development
 Station Road, West Drayton

DRAWING TITLE
 Site Layout and Ground Floor Plan

SCALE 1:200 @ A1 DRAWING NUMBER **RV0001** REVISION
 DATE May 2008
 DRAWN JST
 JOB NUMBER **PO1** CHECKED BY **J**

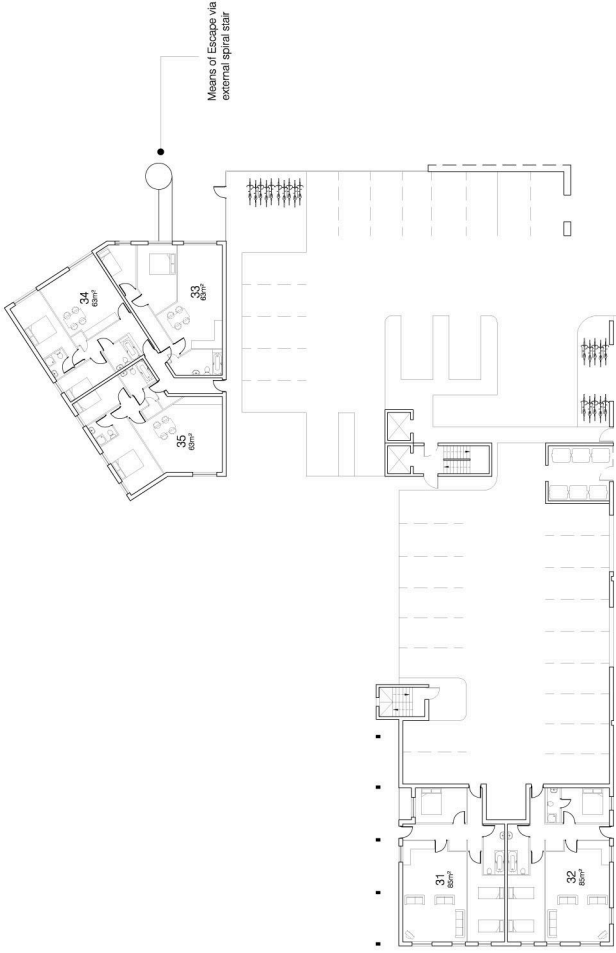


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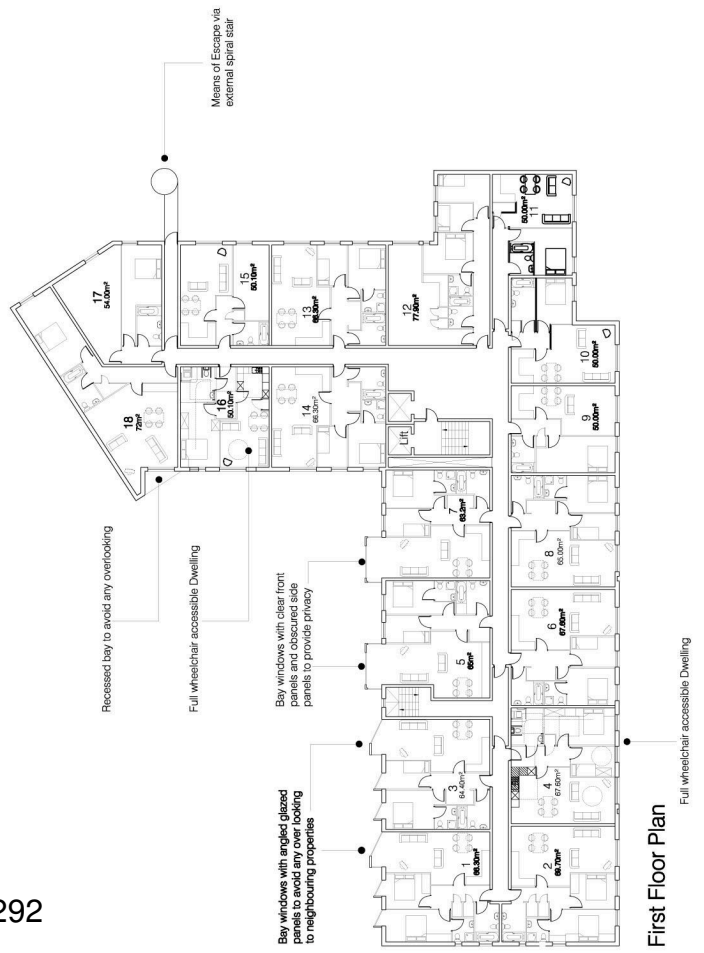
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Schedule of Accommodation

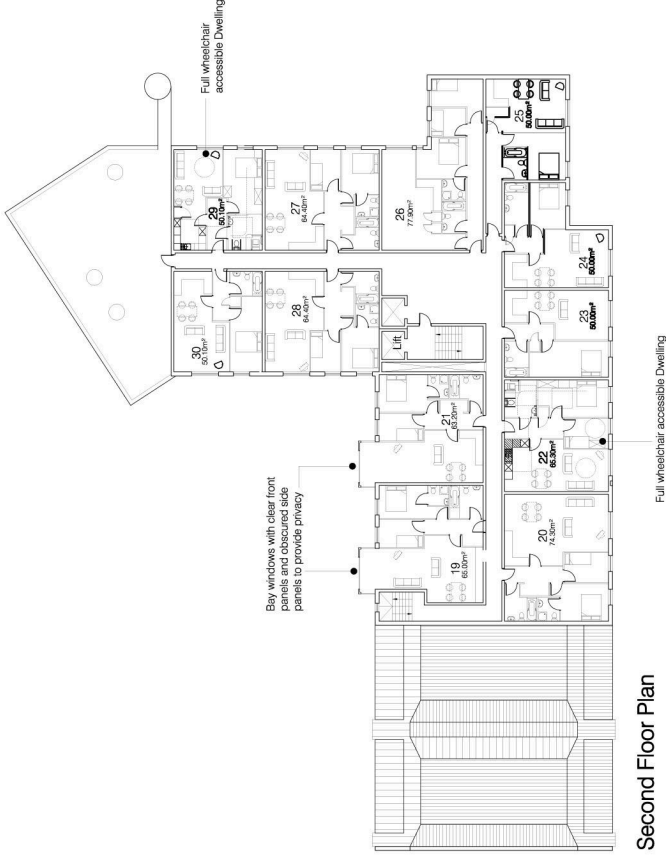
Site Area	0.267 Hectares
Ground Floor	5 x 2 bed units
First Floor	7 x 1 bed units 10 x 2 bed units 1 x 3 bed unit
Second Floor	5 x 1 bed units 6 x 2 bed units 1 x 3 bed unit
Total	35 Dwellings
Fully Wheelchair Accessible Units	4, 16, 22, 29



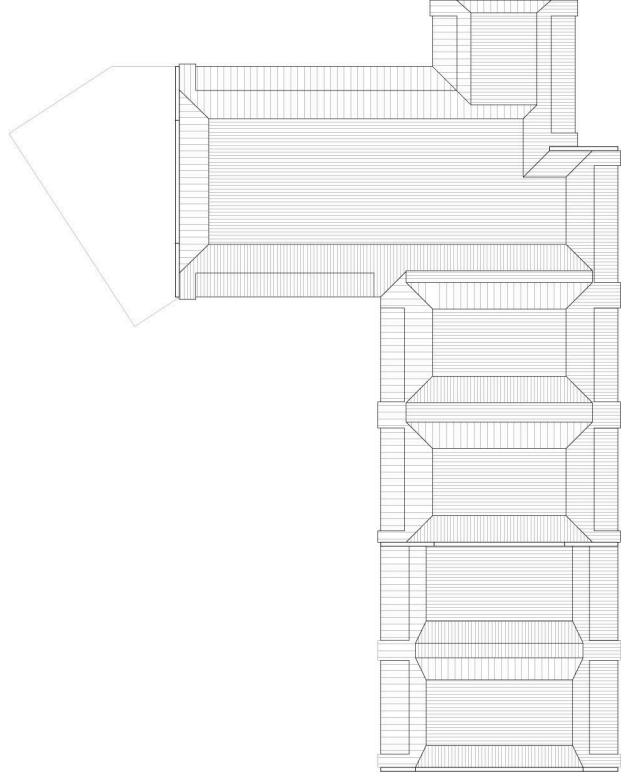
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



bbf
 bbr architects
 78 St. Andrew Street
 Bristol, BS2 8AP
 Telephone: 0117 927 2000
 Fax: 0117 927 2001
 e-mail: info@bbf-architects.co.uk
 www.bbf-architects.co.uk

PROPOSED
 Proposed Residential
 Development
 Station Road, West Drayton
 DRAWING TITLE
 Proposed Floor Plans

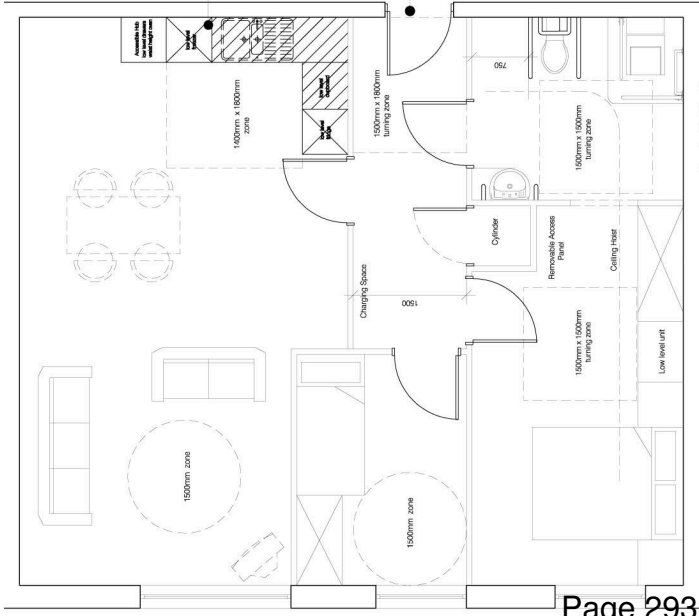
SCALE	1:500 (A1)	DRAWING NUMBER	REVISION
DATE	May 2008	PO2	L
DRAWN	JB	CHECKED	BY
JOB NUMBER	085565		

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Windows to be fully operable with cills of 750mm from finished floor level



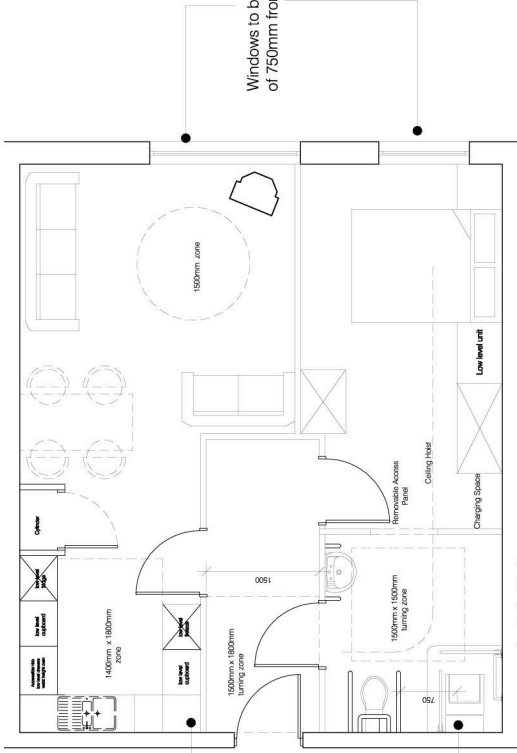
2 Bed Wheelchair Accessible Dwelling
Scale 1:50

Kitchens to provide sufficient storage at appropriate levels to be adjustable range to suite occupancy

All doors to provide 825mm clear opening with 300mm clearance from leading edge

Fold up shower seat allowing min 750mm between WC pan for side access

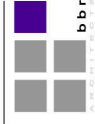
Bathrooms configured to provide shower or bath and full height knock through access panel from master bedroom for installation of ceiling hoists with wet room floor gulleys



1 Bed Wheelchair Accessible Dwelling
Scale 1:50

Windows to be fully operable with cills of 750mm from finished floor level

for approval



bb r
architects
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e-mail: info@bb-r-architects.co.uk
www.bb-r-architects.co.uk

CONTRACT
Proposed Residential Retail
Development
Station Road, West Drayton

DRAWING TITLE
Full Wheelchair Accessible
Dwelling Plans

SCALE	1:50 @A4	DRAWING NUMBER	REVISED
DATE	October 2023	PROJECT NO.	P05
DRAWN BY	JL	CHECKED BY	A
DATE		PROJECT NUMBER	06565

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High Quality planting to communal amenity areas
 Trees and planting with in planters

Inset balconies with winter gardens with obscure glazed panels to provide privacy

Grey metal zinc type roof finish



South Elevation

Bespoke timber trellis heavily planted with evergreen climbers to provide screening between parking and amenity areas

Grey finished horizontal plank cladding
 Feature colour inset lockers

Existing established trees to be protected and new trees to form effective screening to boundary

Materials Palette

- Feature Panel
- Timber
- Smooth grey tile
- Grey Planking
- Facing Brick
- Off White Plender



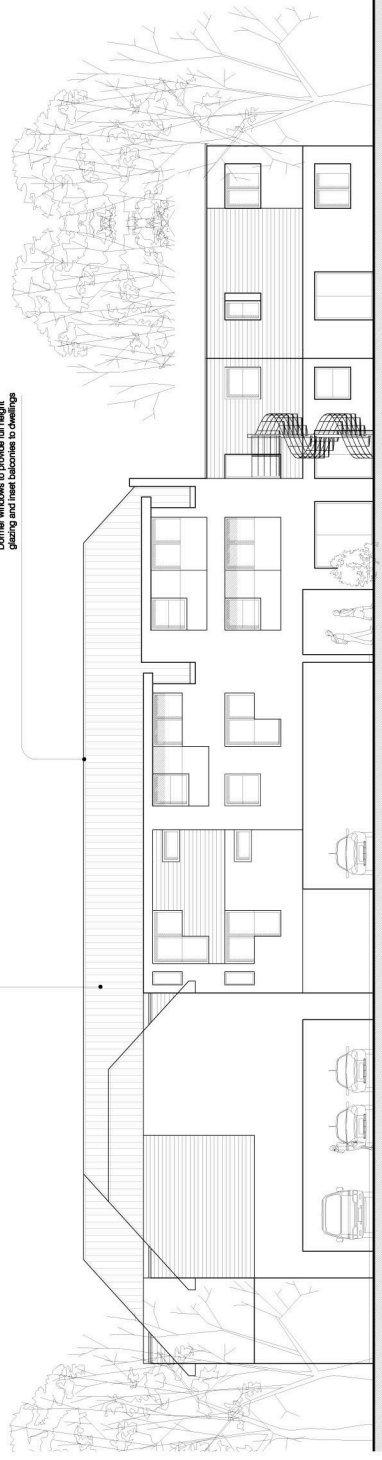
Indicative Concept Perspective

Bespoke timber trellis heavily planted with evergreen climbers to provide screening between parking and amenity areas

Childrens play area to be secure and equipped with integral play items

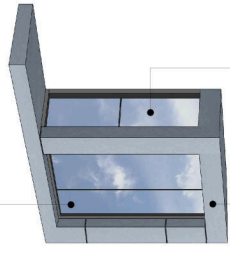
Grey metal zinc type roof finish
 Facing Brick external walls

Dormer windows to provide full height glazing and inset balconies to overhangs



West Elevation

Obscure - opaque glazing to winter garden



Clear glazing to sides of winter garden which avoid overlooking views to neighbouring gardens

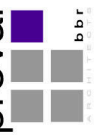
Winter Garden - Balcony

Zinc type finish to balcony



Angled Windows

for approval



BBR ARCHITECTS
 78 BRIDGEMAN STREET
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 EMAIL: info@bbr-architects.co.uk
 WWW: WWW.BBR-ARCHITECTS.CO.UK

CONTRACT
 Proposed Residential
 Development
 Station Road, West Drayton

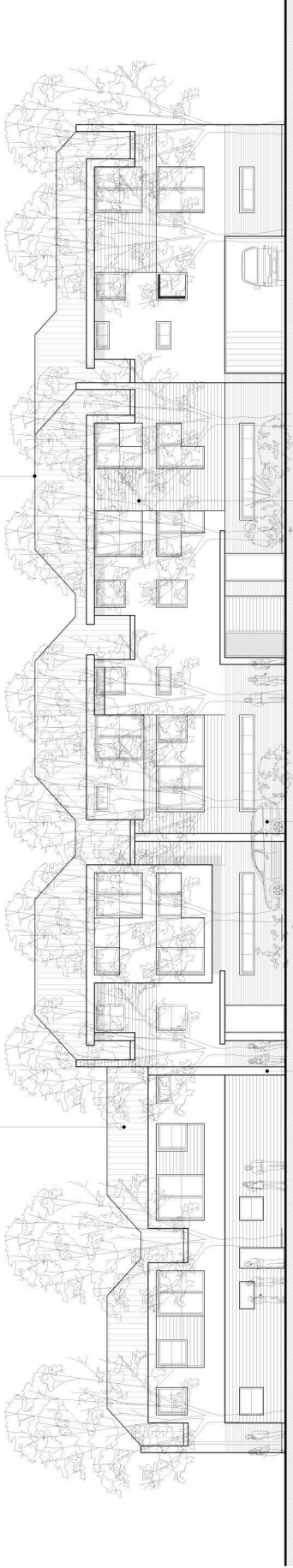
DRAWING TITLE
 Elevations

SCALE	1:100 (B1)	DRAWING NUMBER	REVISION
DATE	May 2008	P03	G
DRAWN	JF	JOB NUMBER	CHECKED BY
		09565	

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Zinc hipped roof providing undulating form with recessed verges to follow the eaves of the structure and building below

Grey metal zinc type roof finish
 Facing Brick external walls



North Elevation scale 1:100

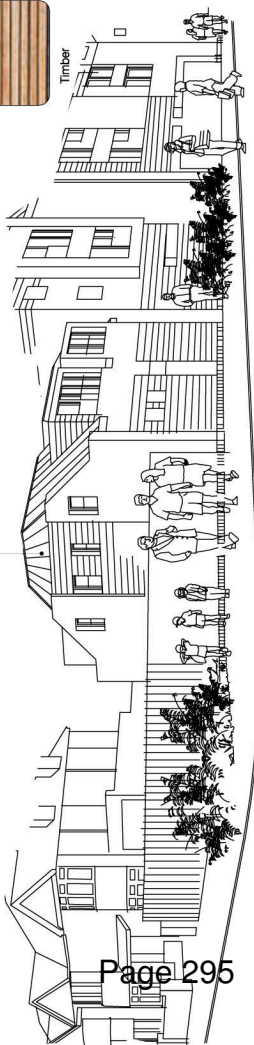
Deep vertical recesses to external wall to break up the horizontal mass of the building

Grey finished horizontal plank cladding
 Dark Grey window units

Materials Palette



Hipped roof reflecting an honest and functional form and reference to neighbouring dwelling (hipped roof type)



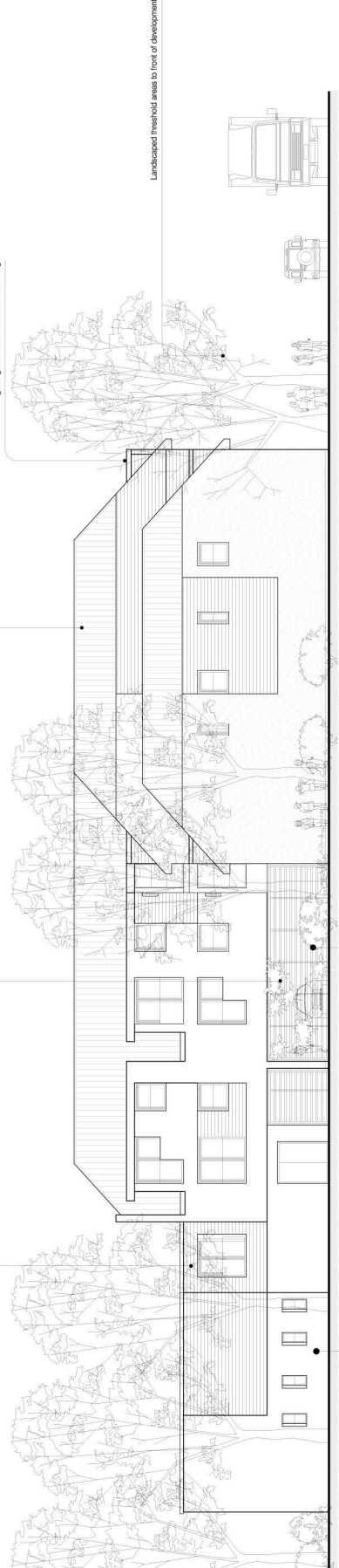
Indicative Concept Perspective

Inset bay window

High Quality painting to communal amenity areas
 Trees and planting with in planters

Grey metal zinc type roof finish

Corner windows to provide full height glazing and meet balconies to dwellings



East Elevation scale 1:100

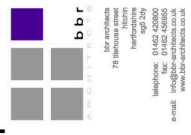
Bespoke timber trellis planted with evergreen climbers to provide screening between parking and amenity areas

Landscaped threshold areas to front of development



Site Location Plan scale 1:1250

for approval



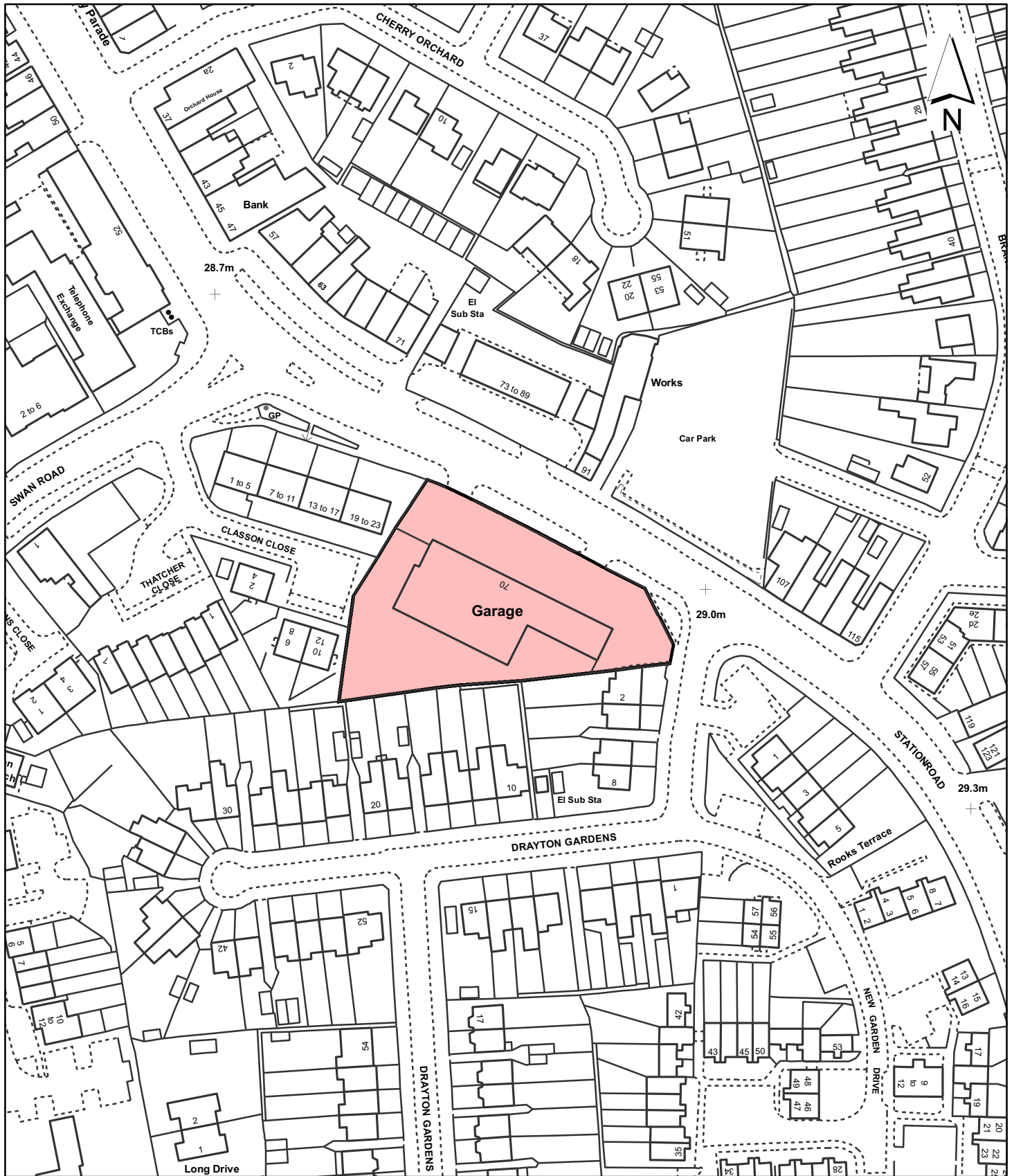
CONTRACT
 Proposed Residential Retail Development
 70 Station Road, West Drayton

DRAWING TITLE
 Elevations Perspective

SCALE 1:100 (BA)
DATE May 2020
DRAWN JED
CHECKED BY JED

DRAWING NUMBER PO4
JOB NUMBER 05565

REVISION



Notes

 Site boundary

For identification purposes only.

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Site Address

**70 Station Road
West Drayton**

Planning Application Ref:

2954/APP/2010/1810

Planning Committee

Central and South

Scale

1:1,250

Date

**January
2011**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address 43 - 47 AND REAR OF 35 - 43 YEADING LANE HAYES

Development: 2 three-bedroom two storey semi-detached dwellings and 3 three-bedroom two storey terraced dwellings with amenity and parking space, involving the demolition of outbuildings to rear of existing dwelling No.47 and rear extensions from No.43 and installation of new crossover.

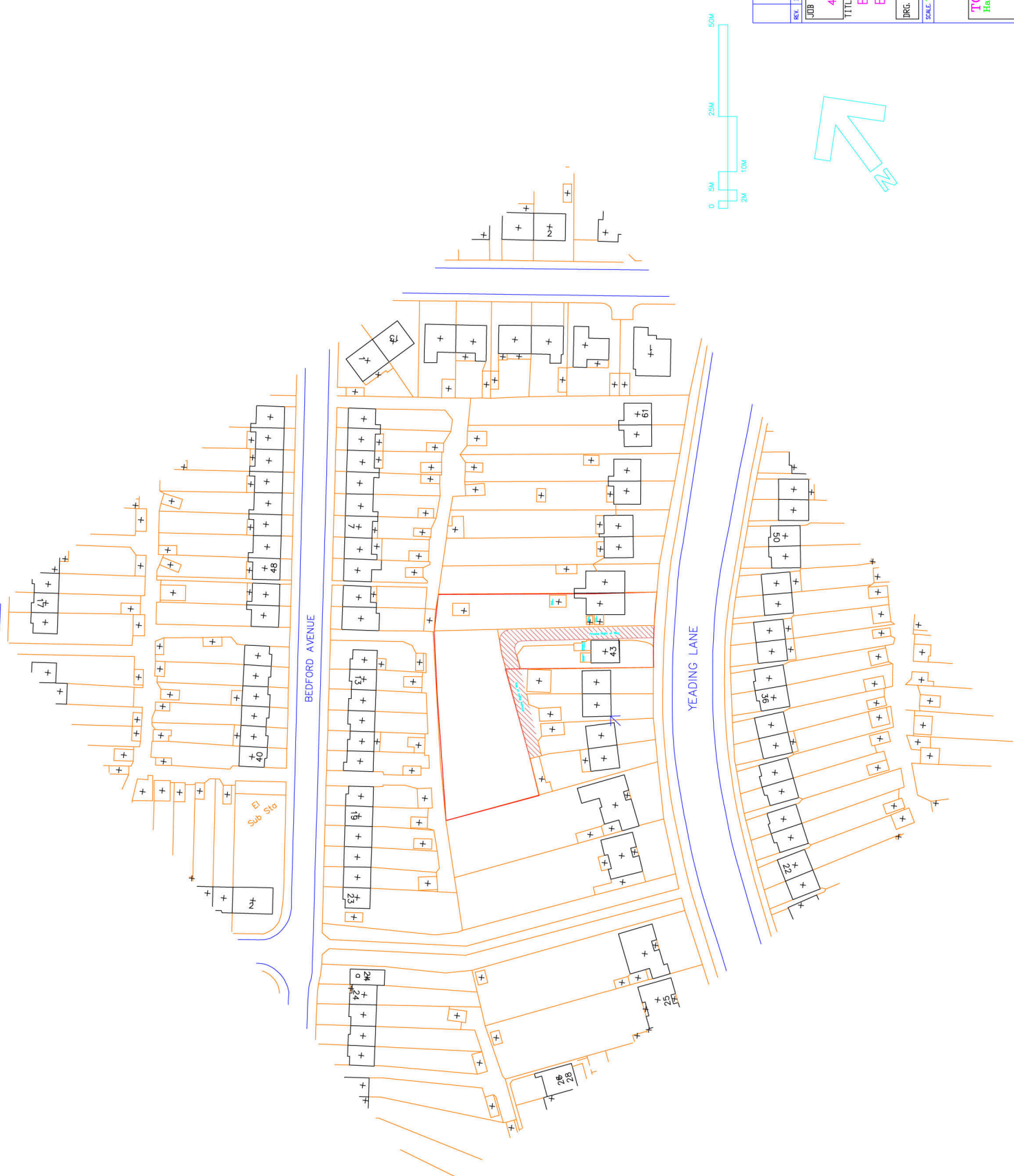
LBH Ref Nos: 34799/APP/2009/2800

Date Plans Received: 23/12/2009 **Date(s) of Amendment(s):**

Date Application Valid: 18/01/2010

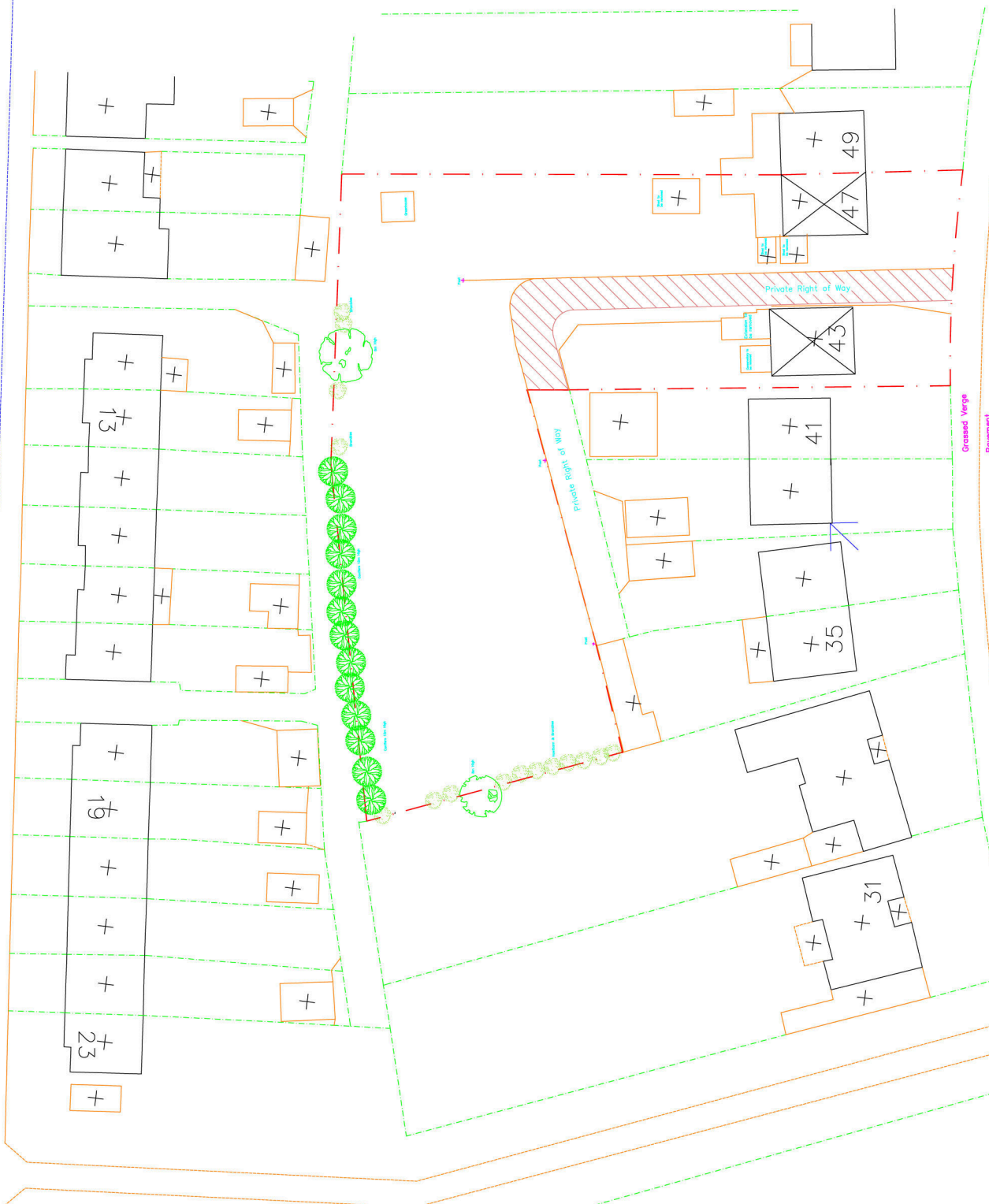
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4. All dimensions to be checked by the contractor on site before ordering materials. Unilateral decisions by contractors will not be accepted.
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6. It is the contractor's responsibility to ensure that the work is completed in accordance with the latest revisions of all the working drawings.
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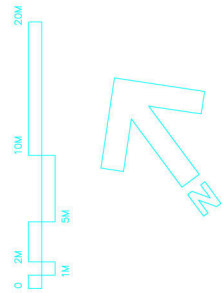


REV.	DATE	DESCRIPTION
JOB		
TITLE		
45 Yeading Lane, Hayes Existing Block Plan		
DRG. No. 2498-2-101		REV.
SCALE: 1:500	DATE BY PDN	DATE
	CHECKED	DATE
TOWERS ASSOCIATES Herefield Oil Terminal, Harvil Rd, Herefield, MIDDX, UB9 6UL, UK FAX: 01895 414666 TEL: 01895 812822		

BEDFORD AVENUE



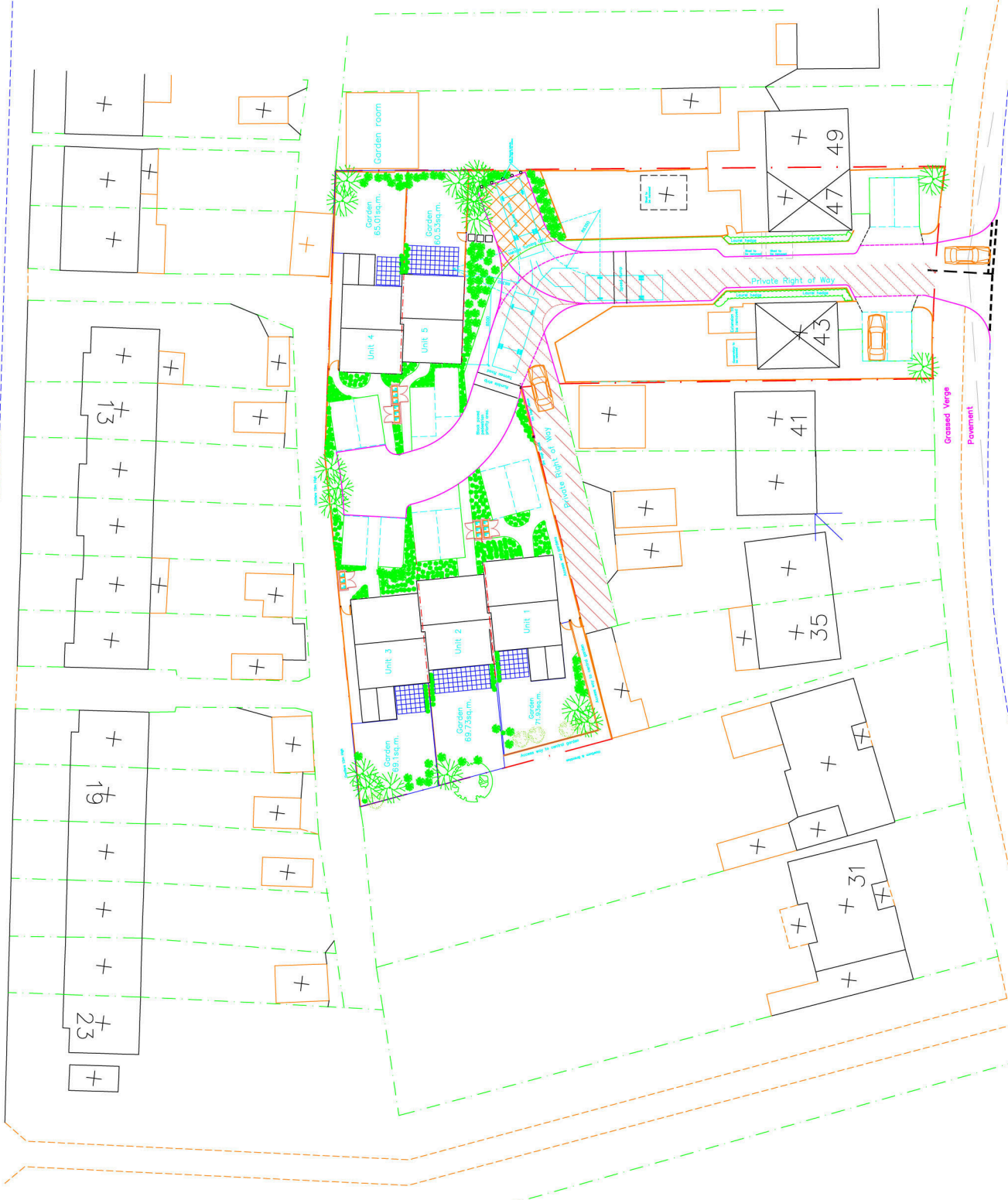
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 3. In case of discrepancies in drawings, TOWERS ASSOCIATES or addrs refer to TOWERS ASSOCIATES for clarification. All dimensions and decisions by contractors will not be accepted.
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 5. The contractor must ensure that work is carried out in accordance with the requirements of all the working drawings.
 6. It is the contractors responsibility to ensure that all work is carried out in accordance with the drawings and at all prescribed Surveys satisfaction.
 7. If work commences on site before all drawings are received, the contractor shall be deemed to accept the drawings as shown on the District Surveyor may require.
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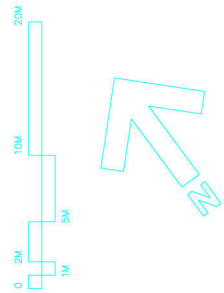
REV.	DATE	DESCRIPTION
JOB		45 Yeading Lane, Hayes
TITLE		Existing Site Layout
DRG. No.	2498-2-103	REV.
SCALE:	1:200	
DATE BY/PPN	DATE	CHECKED
		DATE

TOWERS ASSOCIATES
 Herefield Oil Terminal, Harvil Rd,
 Herefield, MDDX, UB9 6UL,
 FAX: 01895 414888
 TEL: 01895 812822

BEDFORD AVENUE

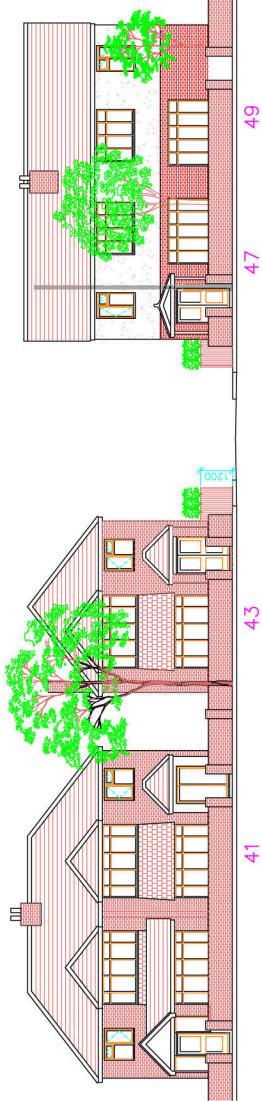


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 2. All dimensions to be checked on site where ordering materials or commencing work.
 3. In case of discrepancies in drawings, dimensions or details refer to TOWERS ASSOCIATES or submit refer to TOWERS ASSOCIATES for clarification. All decisions by contractors will not be accepted.
 4. Accepted dimensions not covered by these drawings refer to TOWERS ASSOCIATES. Contractors must refer to the drawings and decisions by contractors will not be accepted.
 5. The contractor must ensure that work is completed in accordance with the requirements of all the working drawings.
 6. It is the contractors responsibility to ensure that all work is completed in accordance with the drawings and at all prescribed Surveys satisfaction.
 7. If work commences on site before all drawings are received, the contractor shall be deemed to accept responsibility for the work. The District Surveyor may require.
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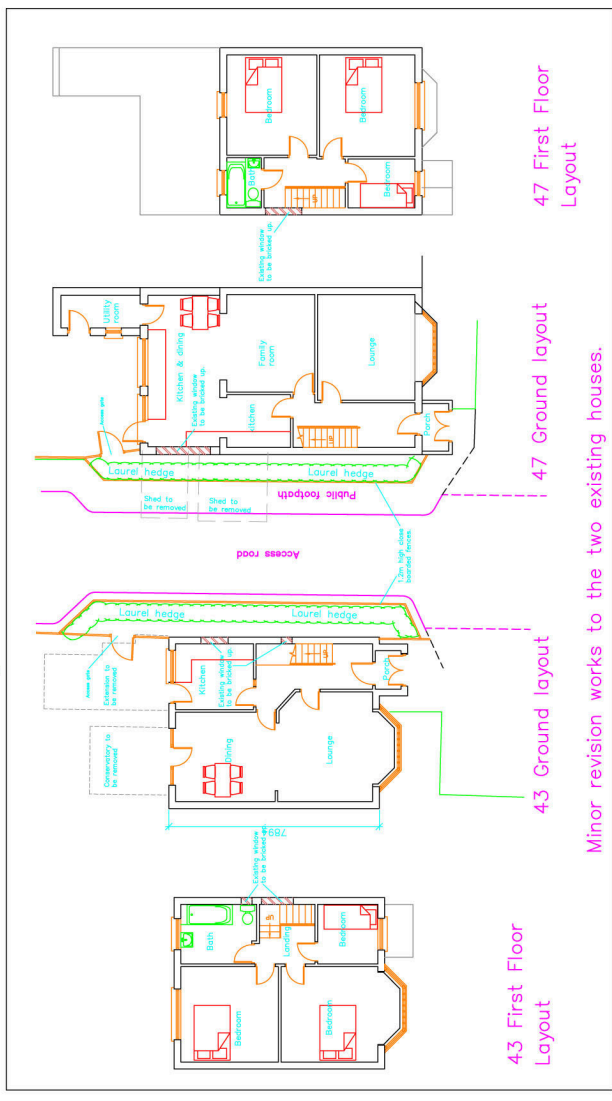


REV.	DATE	DESCRIPTION
JOB		45 Yeading Lane, Hayes
TITLE		Proposed Site Layout
DRG. No.	2498-2-104	REV. -
SCALE:	1:200	
DRN BY/PCN	DATE/DWG. 09	CHECKED
		DATE

TOWERS ASSOCIATES
 Herefield Oil Terminal, Harvil Rd,
 Herefield, MDDX, UB9 6UL,
 U.K.
 FAX: 01895 414666
 TEL: 01895 812822



Yeading Lane Street Scene.



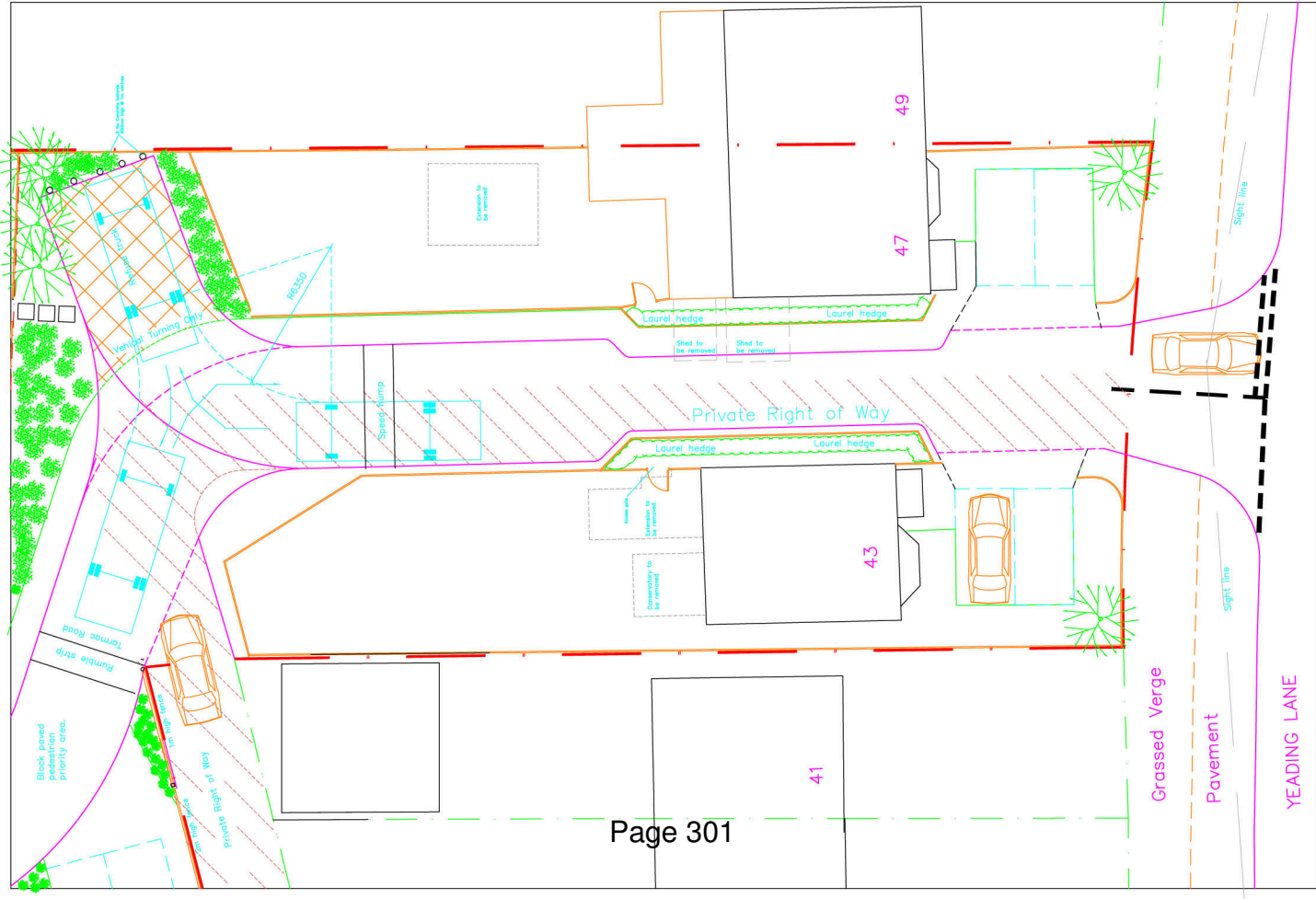
Minor revision works to the two existing houses.

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 3. Any discrepancies or omissions in the drawings, specifications or details refer to TOWERS ASSOCIATES. The contractor shall be deemed to have accepted the drawings, specifications and details by contractors will not be accepted.
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 5. The contractor must ensure that work is completed in accordance with the latest revisions of all the working drawings.
 6. If it is the contractor's responsibility to commence on site, and all off-site work is completed on site, the contractor shall be deemed to have accepted the drawings, specifications and details by contractors will not be accepted.
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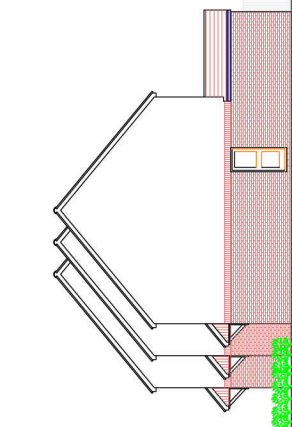
REV.	DATE	DESCRIPTION
JOB	45 Yeading Lane, Hayes, Middx.	
TITLE	Site Entrance & 43-47 Yeading Lane.	
DRG. No.	2498-2-105	REV. -
SCALE:	1:100	
DATE BY/CDN	DATE Dec 09	CHECKED
DATE		

TOWERS ASSOCIATES
 Harefield Oil Terminal, Harvil Rd,
 Harefield, MDDX, UB9 6UL,
 UK
 TEL: 01895 466622
 FAX: 01895 812822
 E-MAIL: towers@towers-associates.co.uk

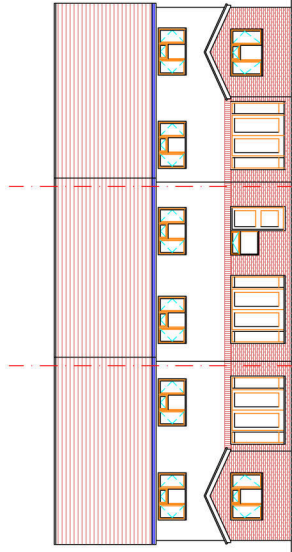




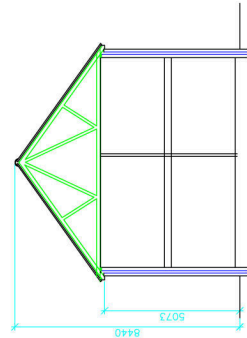
Front Elevation



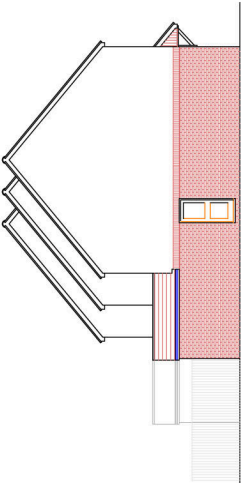
Unit 3 Side Elevation



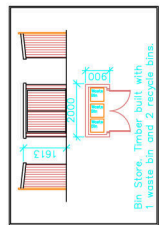
Rear Elevation



Typical Cross Section



Unit 1 Side Elevation

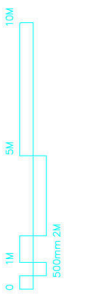


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7. If any work is carried out in accordance with the drawings and specifications, the contractor must ensure that all work is brought forward to the latest revision of the drawings and specifications.
8. The contractor must ensure that work is brought forward to the latest revision of the drawings and specifications.
9. The contractor must ensure that work is brought forward to the latest revision of the drawings and specifications.
10. The contractor must ensure that work is brought forward to the latest revision of the drawings and specifications.

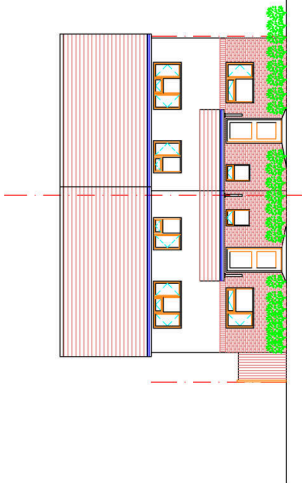


First Floor Layouts

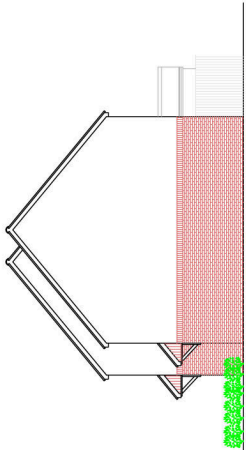
REV.	DATE	DESCRIPTION
JOB	145	Yeading Lane, Hayes, Middx.
TITLE	Units 1,2,&3 3 Bed Layout.	
DRG. No.	2498-2-107	REV. -
SCALE:	1:100	
DRN BY/PDN	DATE	Dec 09
CHECKED	DATE	
DATE		



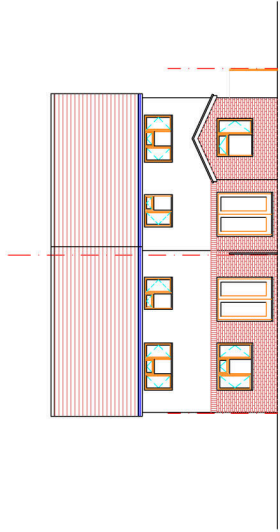
TOWERS ASSOCIATES
 Herefield Oil Terminal, Harvil, Rd.
 Herefield, MIDDX, UB9 6UL.
 TEL: 01895 461666
 FAX: 01895 461667
 E-MAIL: sales@towers.co.uk
 Web: www.towers.co.uk
 Tel: 01895 812822



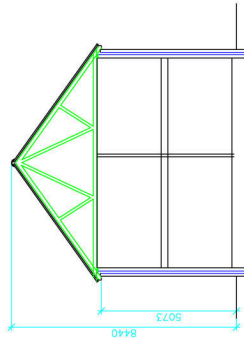
Front Elevation



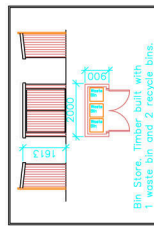
Unit 5 Side Elevation



Rear Elevation

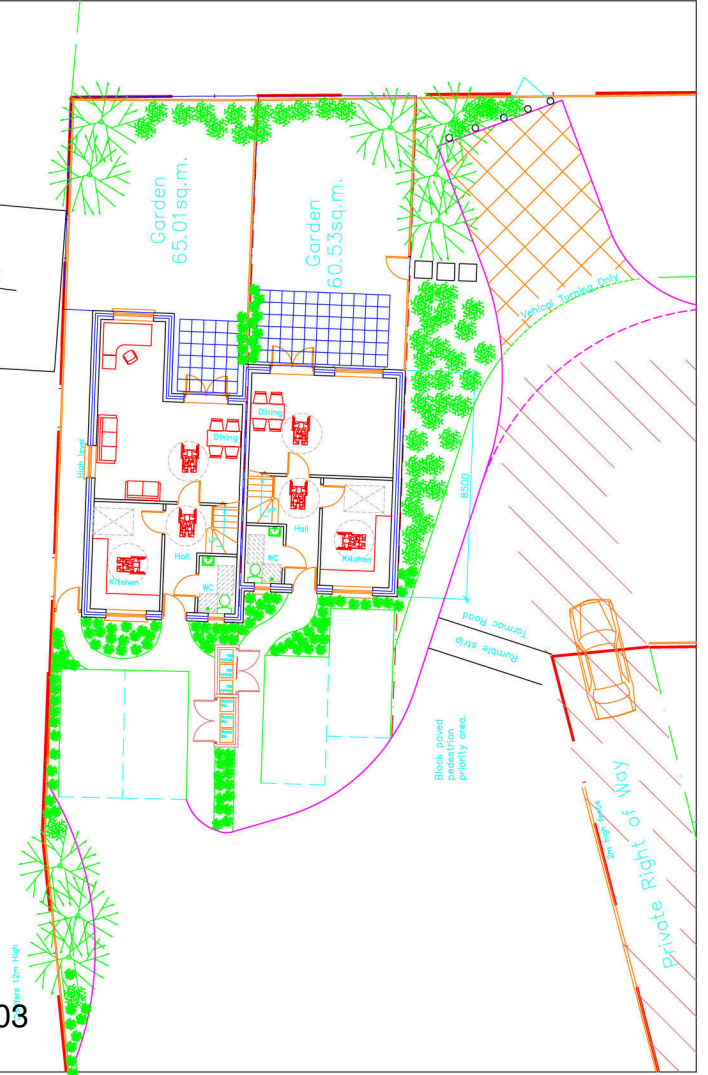
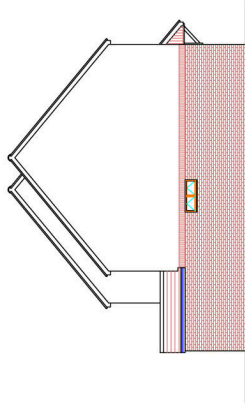


Typical Cross Section

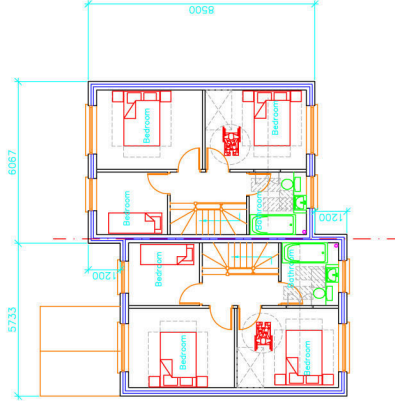


Blk Stone, Timber built with
1 waste bin and 2 recycle bins.

Unit 4 Side Elevation

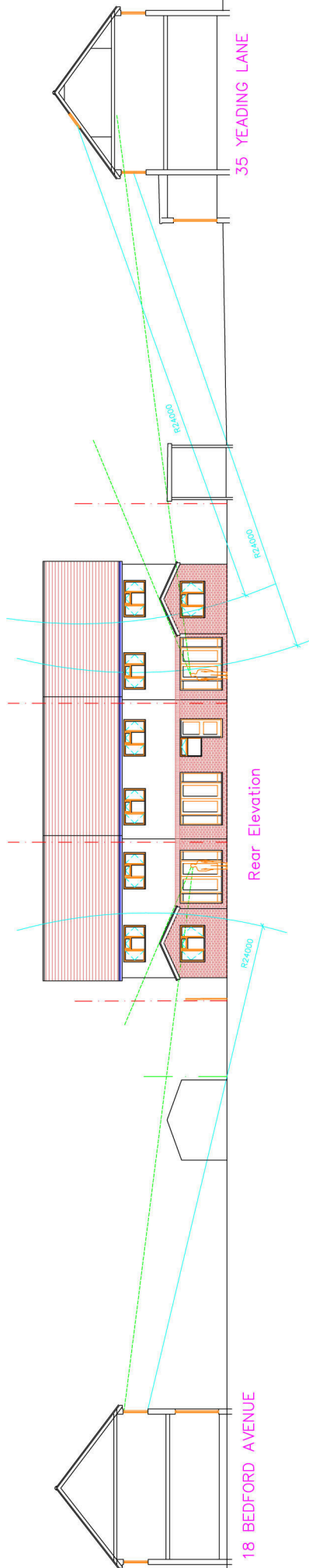


First Floor Layouts



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6. It is the contractor's responsibility to inform the local authority before work commences. All work must be carried out in accordance with the specifications and standards applicable to the project. Unilateral decisions by contractors will not be accepted.
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9. The contractor must ensure that work is being carried out to the latest revisions of the specifications and standards applicable to the project. Unilateral decisions by contractors will not be accepted.
10. The contractor must ensure that work is being carried out to the latest revisions of the specifications and standards applicable to the project. Unilateral decisions by contractors will not be accepted.

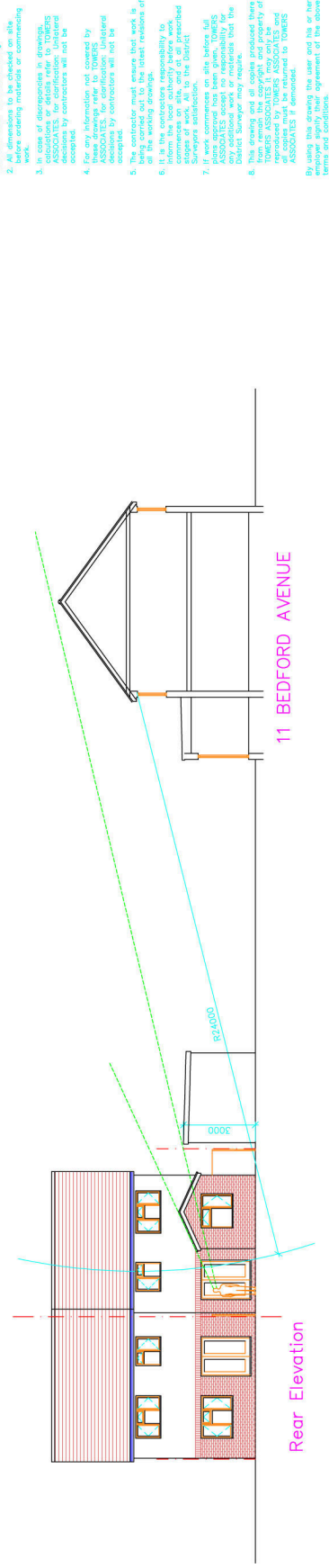
REV.	DATE	DESCRIPTION
JOB	145	Yeading Lane, Hayes, Middx.
TITLE Units 4 & 5 3 Bed Layout.		
DRG. No. 2498-2-106 REV. -		
SCALE: 1:100		
DRAWN BY P.D.N.		
DATE: Dec 09		
CHECKED		
DATE		
TOWERS ASSOCIATES Herefield Oil Terminal, Harvil, Rd. Herefield, MIDDX, UB9 6UL. FAX: 01895 414666 TEL: 01895 812822		



18 BEDFORD AVENUE

Rear Elevation

35 YEADING LANE



11 BEDFORD AVENUE

Rear Elevation

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3. All work shall be in accordance with the latest editions of the International Building Code and all applicable codes and regulations.
4. For any information not covered by the International Building Code and all applicable codes and regulations, the contractor shall refer to the latest editions of the International Building Code and all applicable codes and regulations.
5. The contractor must ensure that work is being carried out to the latest editions of the International Building Code and all applicable codes and regulations.
6. It is the contractor's responsibility to inform the local authority before work commences.
7. If any work is to be carried out on site before full plans approval has been given, TOWERS ASSOCIATES, for certification, Unilateral decisions by contractors will not be accepted.
8. For any information not covered by the International Building Code and all applicable codes and regulations, the contractor shall refer to the latest editions of the International Building Code and all applicable codes and regulations.
9. TOWERS ASSOCIATES, for certification, Unilateral decisions by contractors will not be accepted.
10. The contractor must ensure that work is being carried out to the latest editions of the International Building Code and all applicable codes and regulations.
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13. TOWERS ASSOCIATES, for certification, Unilateral decisions by contractors will not be accepted.
14. TOWERS ASSOCIATES, for certification, Unilateral decisions by contractors will not be accepted.
15. TOWERS ASSOCIATES, for certification, Unilateral decisions by contractors will not be accepted.
16. TOWERS ASSOCIATES, for certification, Unilateral decisions by contractors will not be accepted.
17. TOWERS ASSOCIATES, for certification, Unilateral decisions by contractors will not be accepted.
18. TOWERS ASSOCIATES, for certification, Unilateral decisions by contractors will not be accepted.
19. TOWERS ASSOCIATES, for certification, Unilateral decisions by contractors will not be accepted.
20. TOWERS ASSOCIATES, for certification, Unilateral decisions by contractors will not be accepted.

REV.	DATE	DESCRIPTION
JOB	45 Yeading Lane, Hayes, Middx.	
TITLE	Sightlines from existing properties	
DRG. No.	2498-2-109	REV.
SCALE:	1:100	
DATE BY/PDN	DATE	CHECKED
DATE	DATE	DATE



TOWERS ASSOCIATES
 Herefield Oil Terminal, Harvil Rd,
 Herefield, MDDX, UB9 6UL,
 U.K.
 TEL: 01895 474666
 FAX: 01895 474667
 E-MAIL: sales@towers-associates.co.uk
 Web: www.towers-associates.co.uk
 Tel: 01895 812822

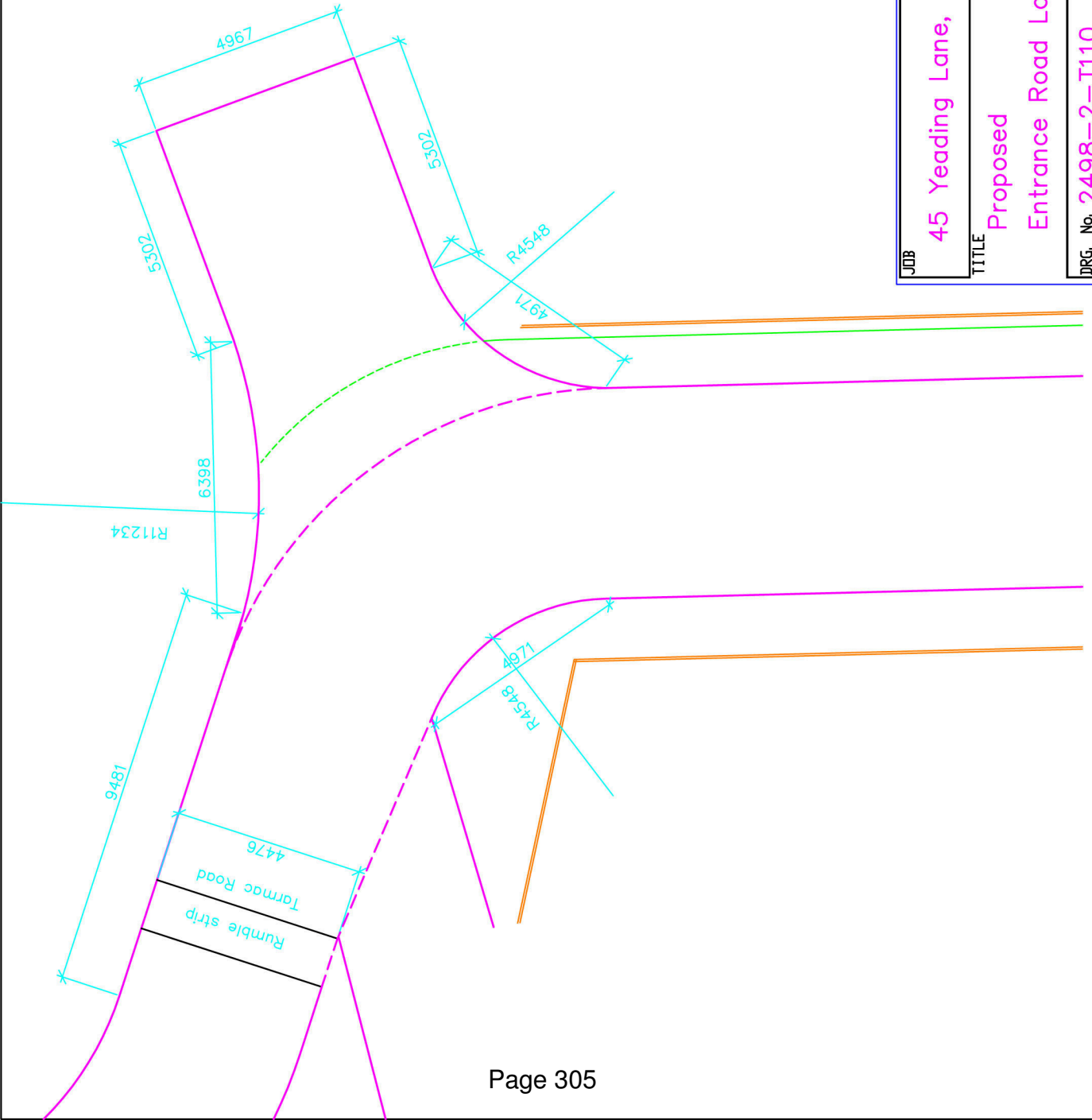
1. Do not scale from this drawing.
2. All dimensions to be checked on site before ordering materials or commencing work.
3. In case of discrepancies in drawings, the drawings shall prevail. If TOWERS ASSOCIATES or clarification, unilateral decisions by contractors will not be accepted.
4. For any information not covered by these drawings refer to TOWERS ASSOCIATES for clarification. Unilateral decisions by contractors will not be accepted.
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6. It is the contractors responsibility to form this location and to ensure work commences at all described stages of work. All to the District Surveyors satisfaction.
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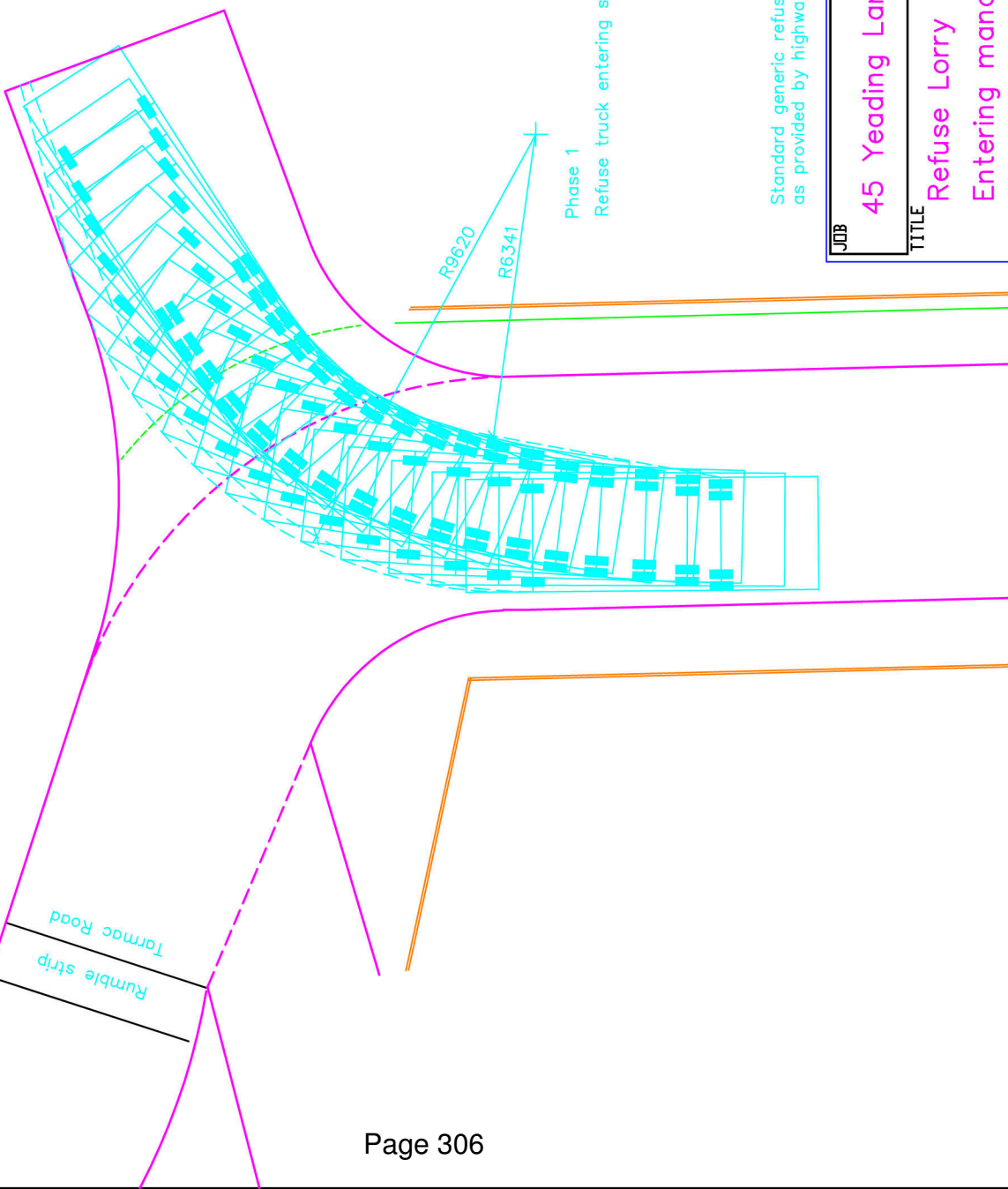
Read in connection with drawings 2498-2-T110, T111, T112 & T113

JOB		45 Yeading Lane, Hayes	
TITLE		Proposed Entrance Road Layout	
DRG. No.		2498-2-T110	
REV.	DATE	DESCRIPTION	DRN. BY
SCALE	1:100		PDN
			DATE JUN 09
<p>TOWERS ASSOCIATES Harefield Oil Terminal, Herwil Rd, Harefield, MIDDX., UB9 6JL. FAX. 01895 814664 TEL. 01895 812822</p>			



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2. All dimensions to be checked on site before ordering materials or commencing work.
3. In case of discrepancies in drawings, the contractor shall refer to TOWERS ASSOCIATES for clarification. Unilateral decisions by contractors will not be accepted.
4. For any information not covered by these drawings refer to TOWERS ASSOCIATES for clarification. Unilateral decisions by contractors will not be accepted.
5. The contractor must ensure that work is being carried out to the latest revisions of all the working drawings.
6. It is the contractors responsibility to form this location and to ensure work commences at all described stages of work. All to the District Surveyors satisfaction.
7. If work commences on site before full plans approval has been given, TOWERS ASSOCIATES accept no responsibility for any additional work or materials that the District Surveyor may require.
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Read in connection with drawings 2498-2-T110, T111, T112 & T113

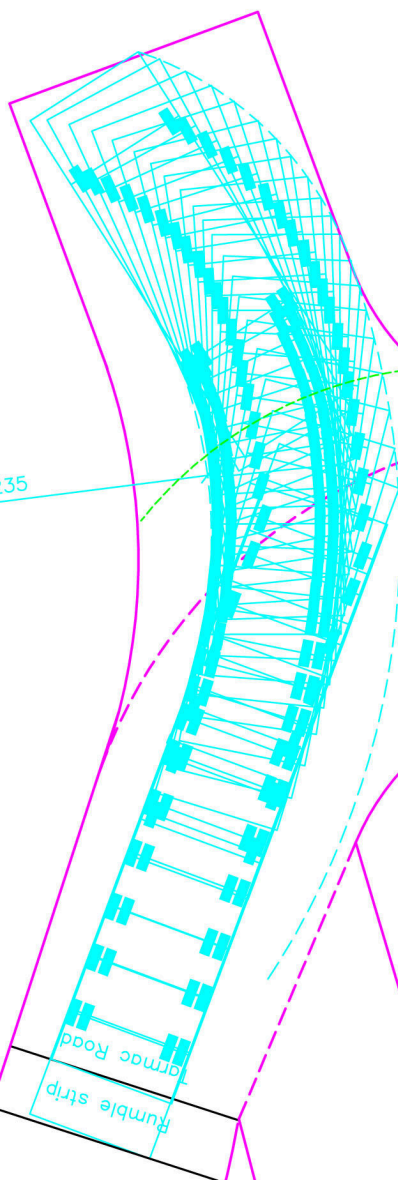
Standard generic refuse truck details as provided by highways department.

JOB		45 Yeading Lane, Hayes	
TITLE		Refuse Lorry Entering manoeuvre	
DRG. No.		2498-2-T111	
REV.			

REV.	DATE	DESCRIPTION	DRN. BY	PDN	DATE
SCALE	1:100				JUN 09
<p>TOWERS ASSOCIATES Harefield Oil Terminal, Hervil Rd, Harefield, MIDDX, UB9 6JL. FAX. 01895 814664 TEL. 01895 812822</p>					

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3. In case of discrepancies in drawings, dimensions or details, the contractor shall refer to TOWERS ASSOCIATES for clarification. Unilateral decisions by contractors will not be accepted.
4. For any information not covered by these drawings refer to TOWERS ASSOCIATES for clarification. Unilateral decisions by contractors will not be accepted.
5. The contractor must ensure that work is being carried out to the latest revisions of all the working drawings.
6. It is the contractors responsibility to inform the local authority where work commences at all described stages of work. All to the District Surveyors satisfaction.
7. If work commences on site before full plans approval has been given, TOWERS ASSOCIATES accept no responsibility for any additional work or materials that the District Surveyor may require.
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Phase 2
Refuse truck turning on site.

Read in connection with drawings 2498-2-T110, T111, T112 & T113

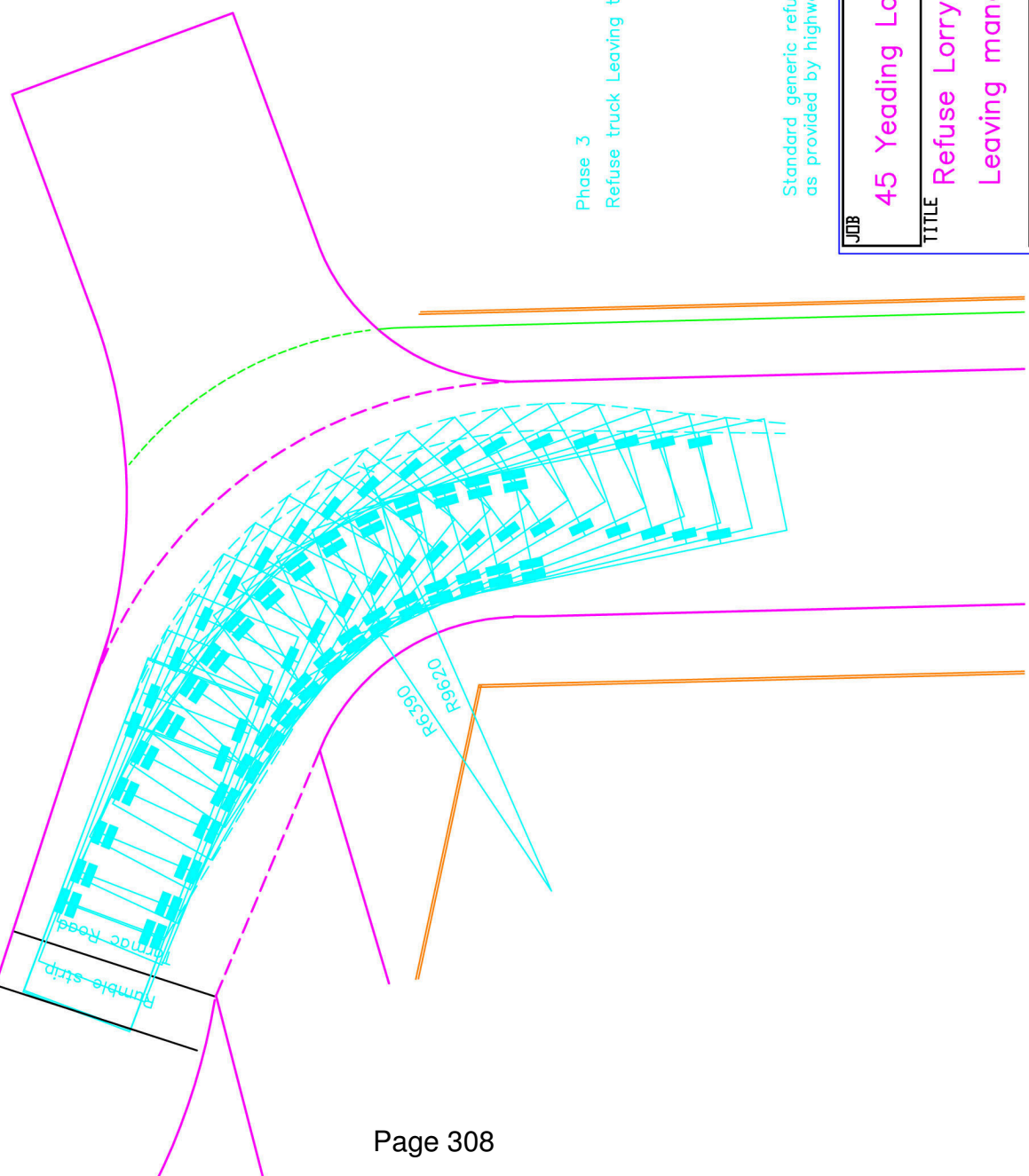
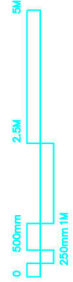
Standard generic refuse truck details as provided by highways department.

JOB		45 Yeading Lane, Hayes	
TITLE		Refuse Lorry Turning manoeuvre	
DRG. No.		2498-2-T112	
REV.			

REV.	DATE	DESCRIPTION	DRN. BY	PDN	DATE
SCALE: 1:100					
TOWERS ASSOCIATES Herefield Oil Terminal, Herwil Rd, Herefield, MIDDX., UB9 6JL. FAX. 01895 814664 TEL. 01895 812822					

1. Do not scale from this drawing.
2. All dimensions to be checked on site before ordering materials or commencing work.
3. In case of discrepancies in drawings, measurements or dimensions, the contractor shall refer to TOWERS ASSOCIATES for clarification. Unilateral decisions by contractors will not be accepted.
4. For any information not covered by these drawings refer to TOWERS ASSOCIATES. For clarification: Unilateral decisions by contractors will not be accepted.
5. The contractor must ensure that work is being carried out to the latest revisions of all the working drawings.
6. It is the contractors responsibility to inform the local authority where work commences on site at all described stages of work. All to the District Surveyors satisfaction.
7. If work commences on site before full plans approval has been given, TOWERS ASSOCIATES accept no responsibility for any additional work or materials that the District Surveyor may require.
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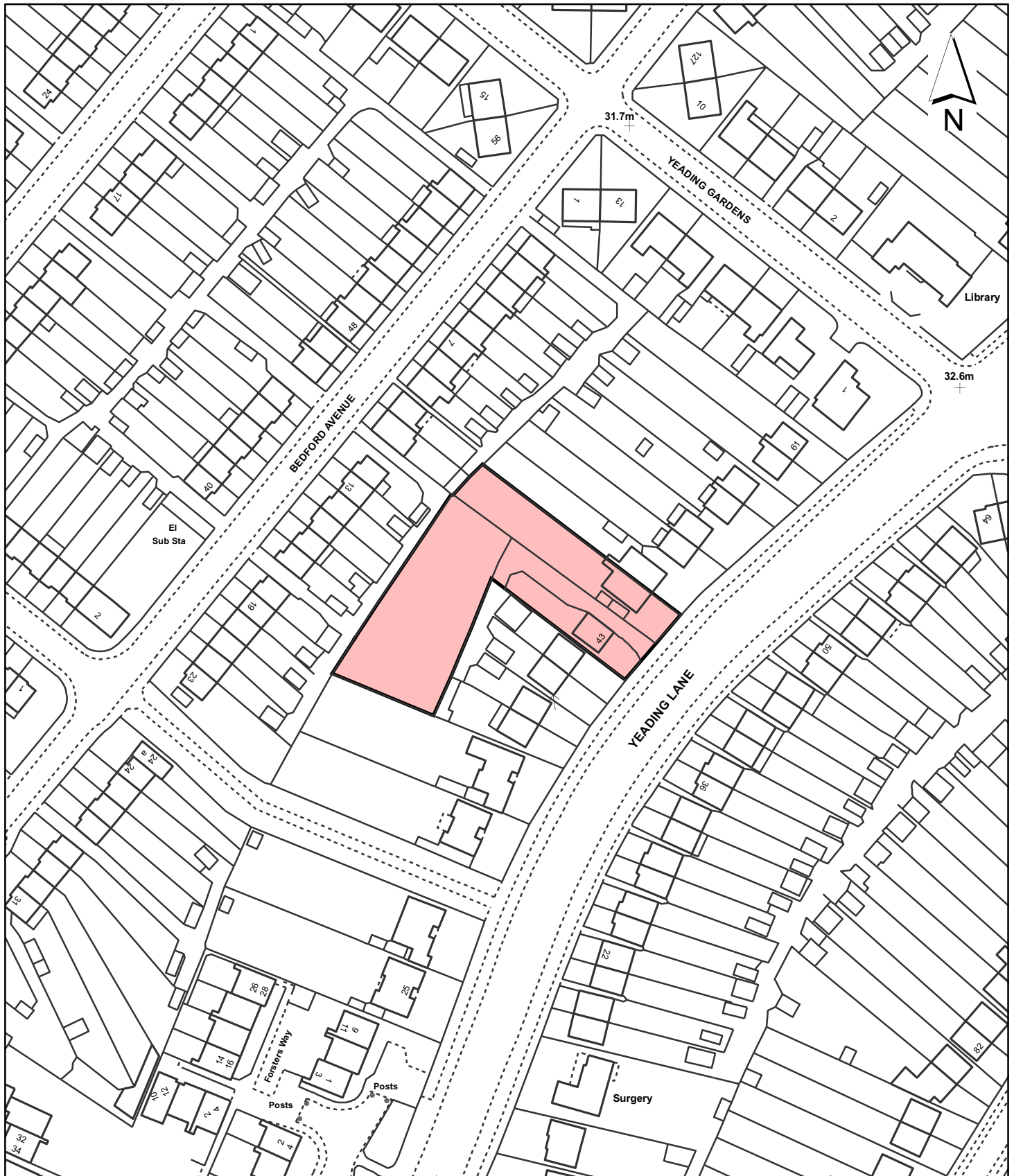
Phase 3
Refuse truck Leaving the site

Standard generic refuse truck details as provided by highways department.


Read in connection with drawings 2498-2-T110, T111, T112 & T113

JOB	
45 Yeading Lane, Hayes	
TITLE	
Refuse Lorry Leaving manoeuvre	
DRG. No. 2498-2-T113	
REV.	

REV.	DATE	DESCRIPTION	DRN. BY	PDN	DATE
SCALE: 1:100					
<p>TOWERS ASSOCIATES Harefield Oil Terminal, Hervil Rd, Harefield, MIDDX, UB9 6JL. FAX: 01895 814664 TEL: 01895 812822</p>					



Notes

 Site boundary

For identification purposes only.

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Site Address

**43 - 47 and rear of
35 - 43 Yeading Lane
Hayes**

Planning Application Ref:

34799/APP/2009/2800

Planning Committee

Central and South

Scale

1:1,250

Date

August 2010

**LONDON BOROUGH
OF HILLINGDON
Planning &
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

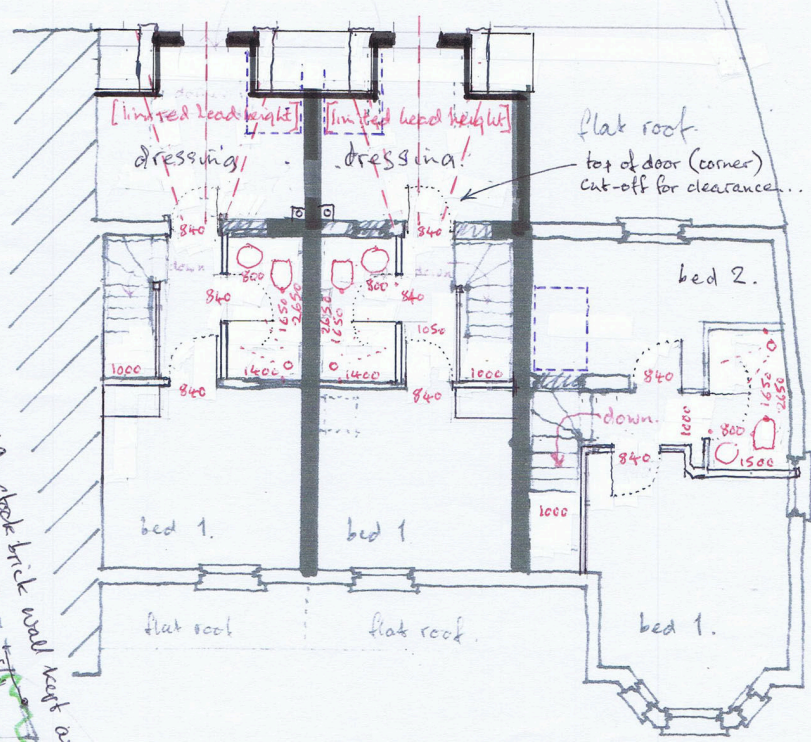
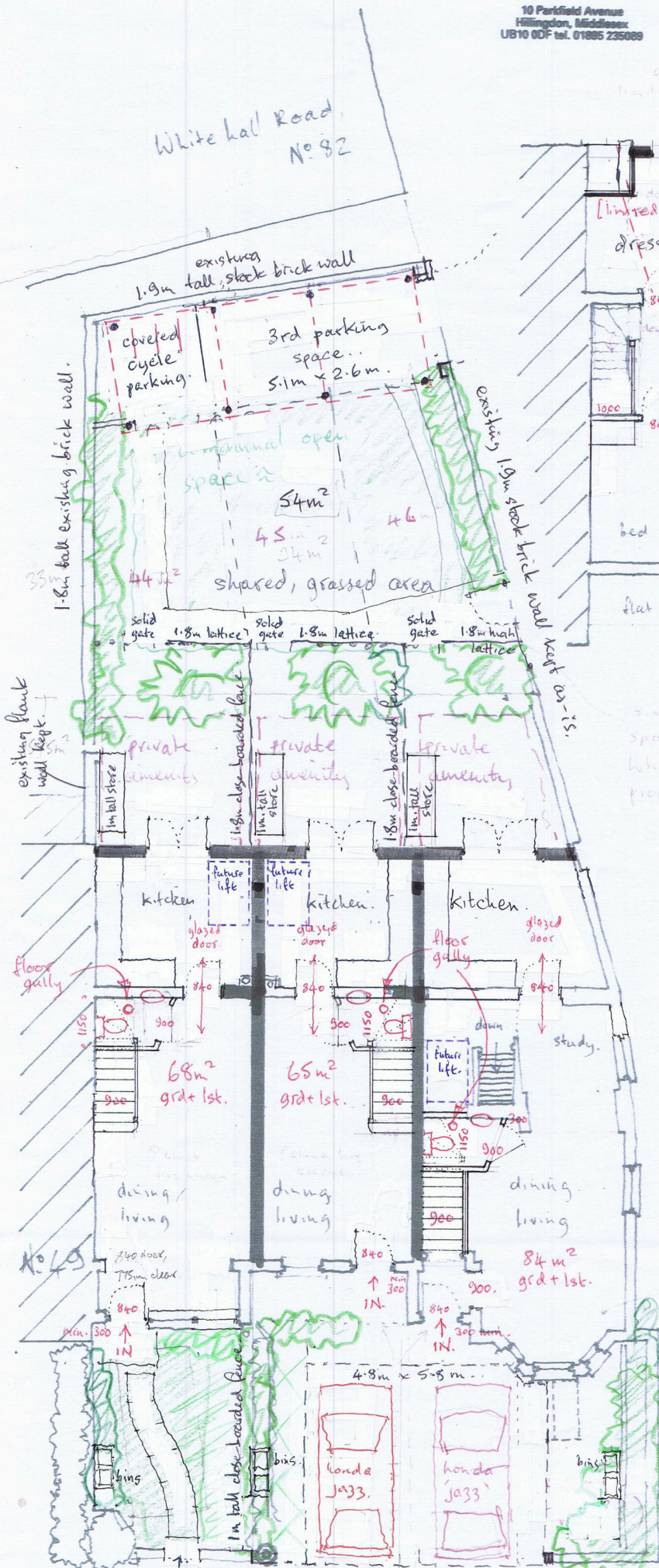
Address 51 CHILTERN VIEW ROAD UXBRIDGE

Development: Change of use from Class A4 (Drinking Establishment) to Class C3 (Residential Units) for use as 2 one-bedroom and 1 two-bedroom, two storey terraced dwellings with associated parking and amenity space, including a two storey rear extension, alterations to existing front and side elevations, repositioning of vehicular access to side and alterations to existing vehicular crossover to front with demolition of existing single storey rear extensions and outbuildings to rear.

LBH Ref Nos: 64176/APP/2010/2097

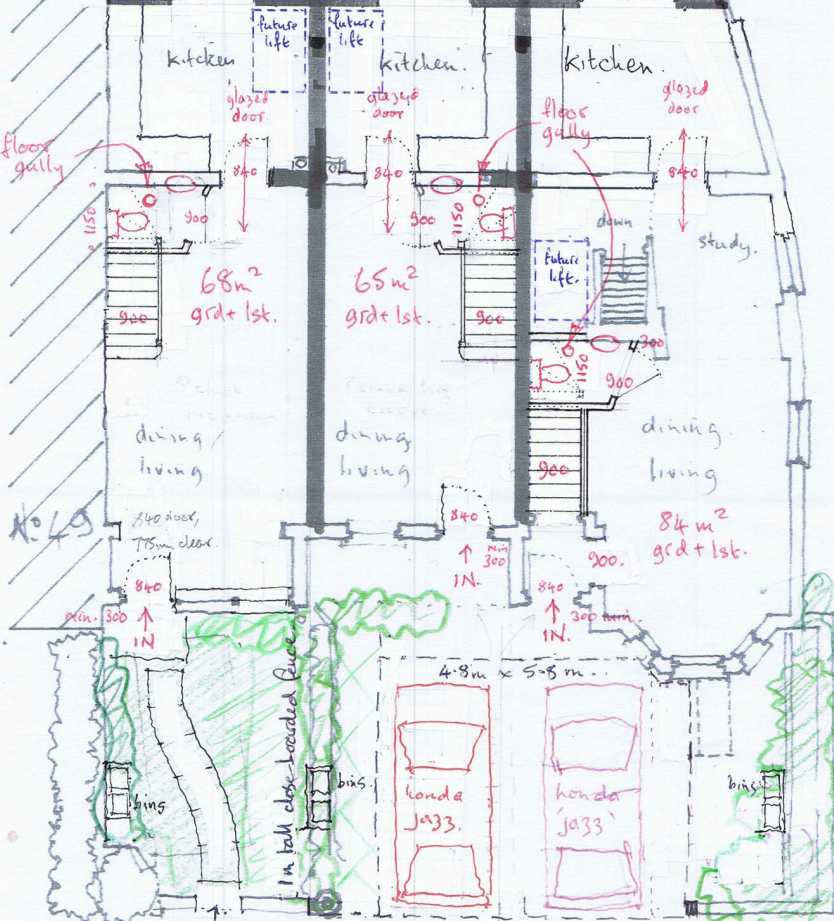
Date Plans Received:	07/09/2010	Date(s) of Amendment(s):	12/01/2010
Date Application Valid:	14/09/2010		07/09/2010
			14/09/2010
			24/11/2010

Whitehall Road
No 82



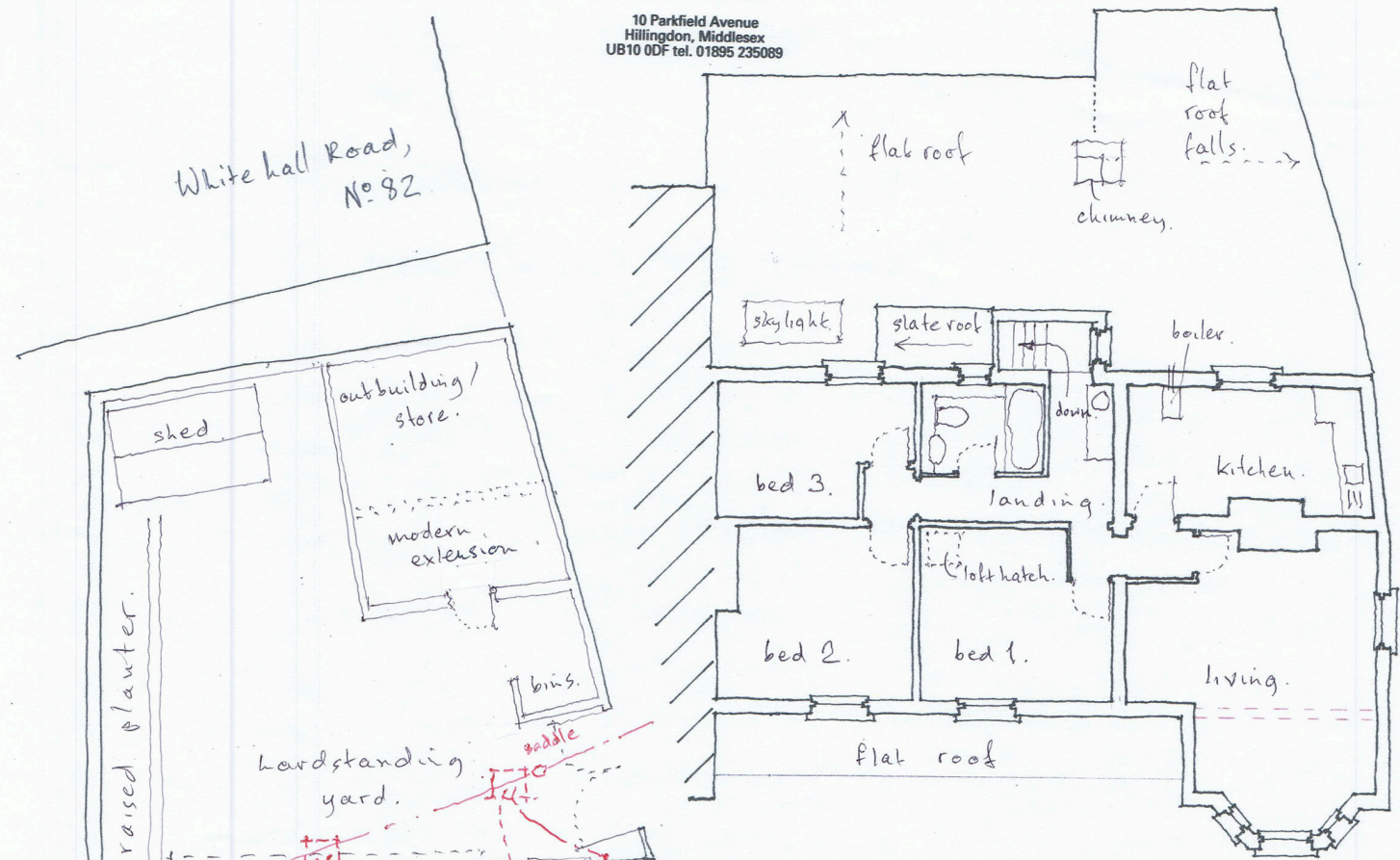
first-floor plan.

Scale 1:100 @ A3 size.



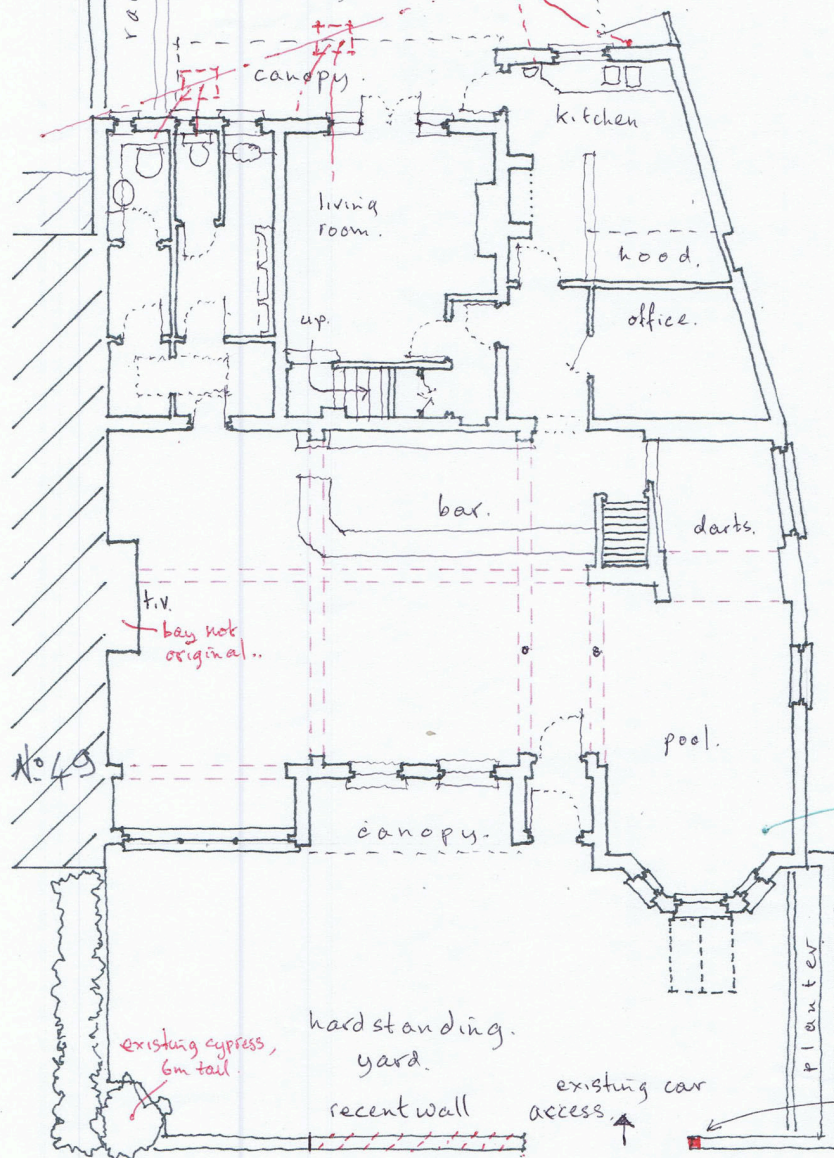
cellar plan.

White hall Road,
No 82.

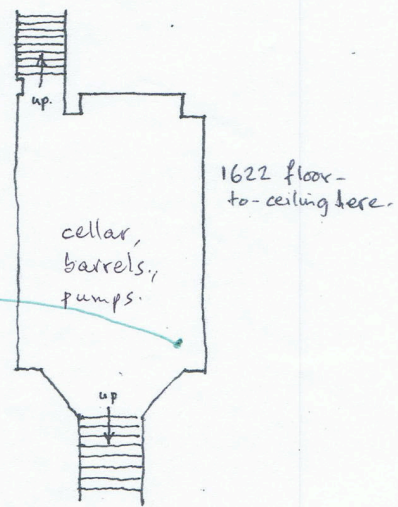


first-floor plan.

0 1 2 3 4 5 10 metres
Scale 1:100 @ A3 size.



cellar plan.



all as existing...

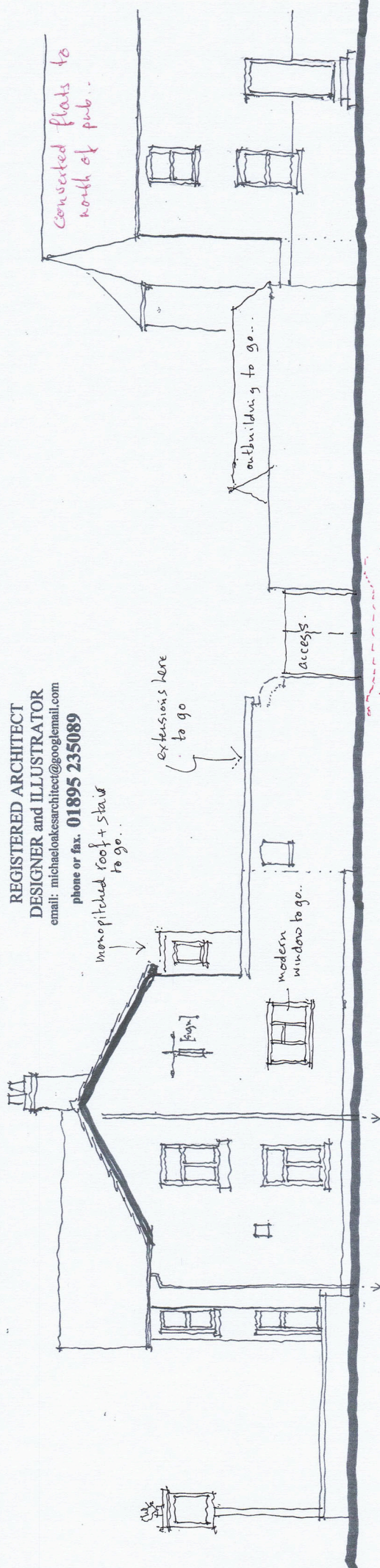
proposed change-of-use for 'the Cowley Brick',
51 Chiltern View Road, Uxbridge

drawing 3

elevation alongside Whitehall Road..

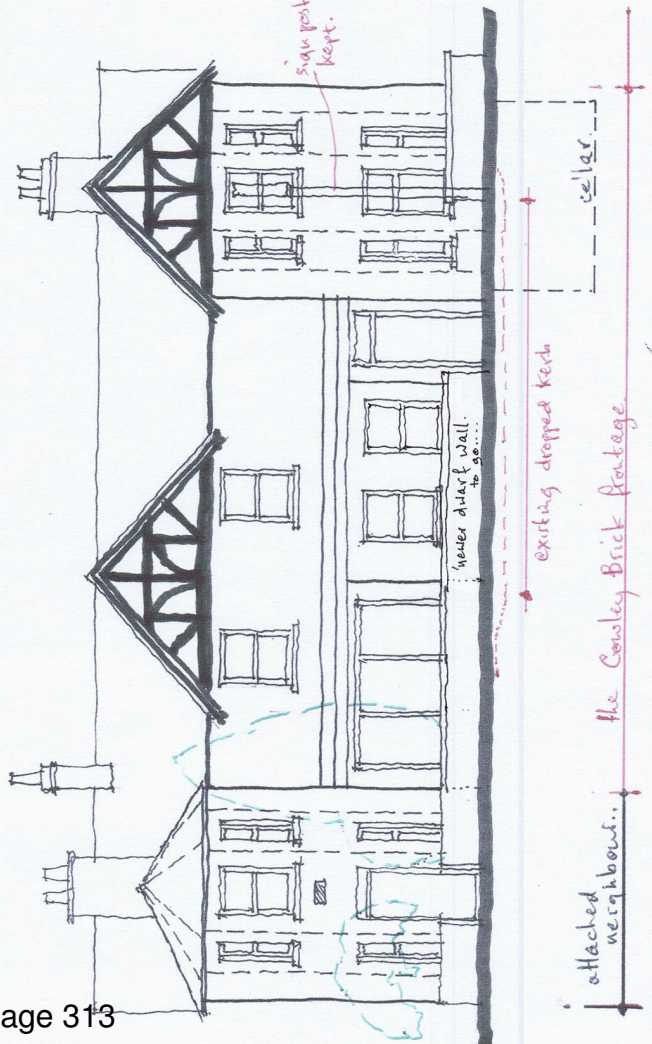
MICHAEL OAKES, B.A.Hons
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email: michaeloakesarchitect@googlemail.com
phone or fax. 01895 235089



all as existing...

existing dropped kerb.



attached neighbour..

the Cowley Brick Portage

existing dropped kerb

cellar

gate access.

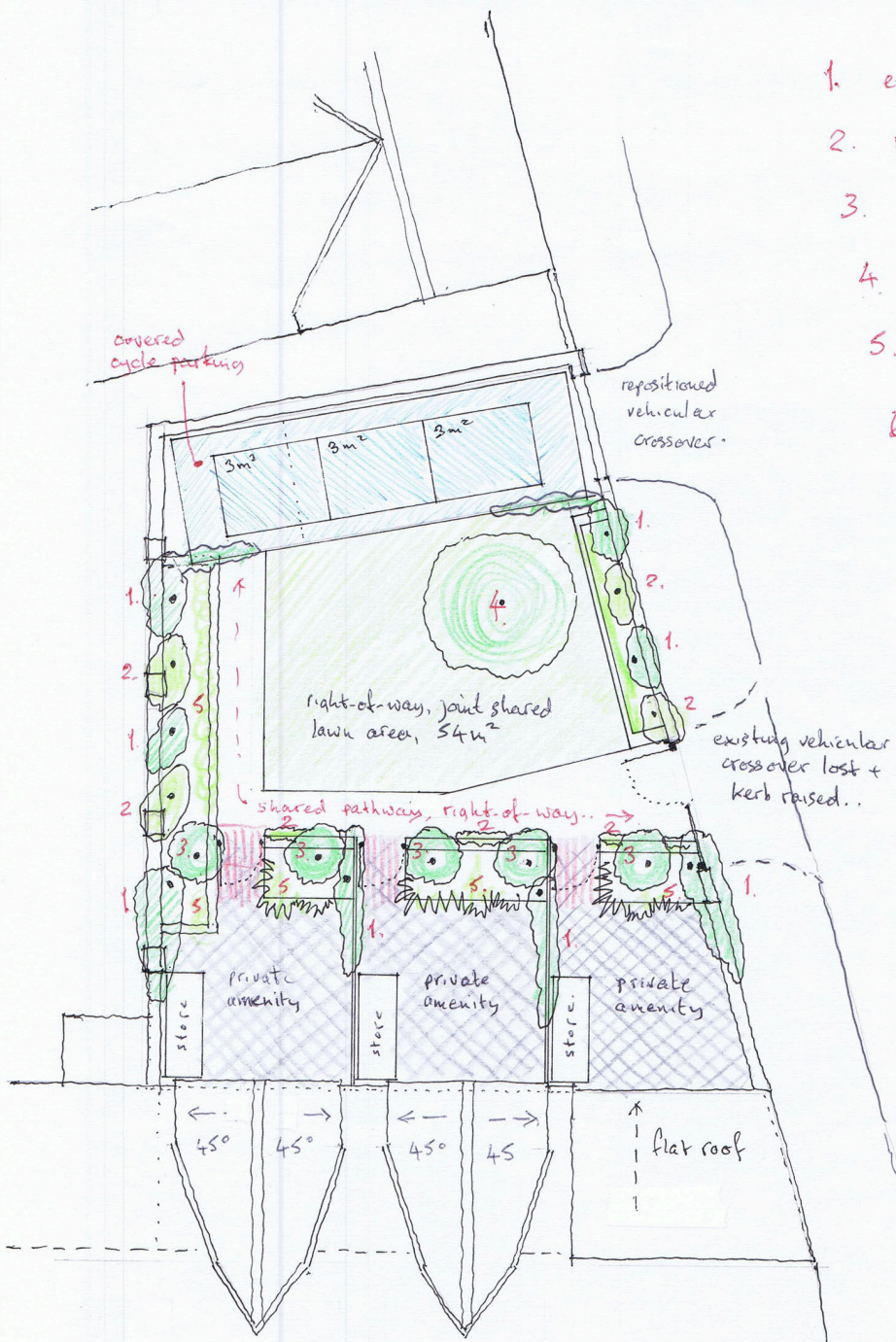
the Cowley Brick rear. (most to be reduced..)

attached neighbour. +

proposed change-of-use for the Cowley Brick + other alterations at 51 Chiltern View Road, Uxbridge, UB8 2FF June 2010 scale for John O'Rourke, drawing. 6

Key.

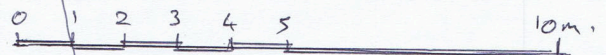
1. evergreen honeysuckle.
2. passionflower tied to wall + trellis. *P. caerulea*.
3. *berberis darwinii* (max. 2.2m high).
4. small fruit tree - cherry.
5. *ceanothus*, evergreen autumnal blue, and lavender. (see below), + periwinkle.
6. existing cypress - in planter 6m tall
7. variegated *aucuba* "*crotonifolia*"
8. lavender, eg "old English", *L. vera* + hidcote.
9. privet.



rear hardstanding to reuse existing grey yard slabs as/where possible, to avoid un-needed landfill.

existing London stock bricks to be salvaged + reused.

existing blue slates to be salvaged + re-used on rear lean-to.



roof plan + planting/
hardstanding plan.

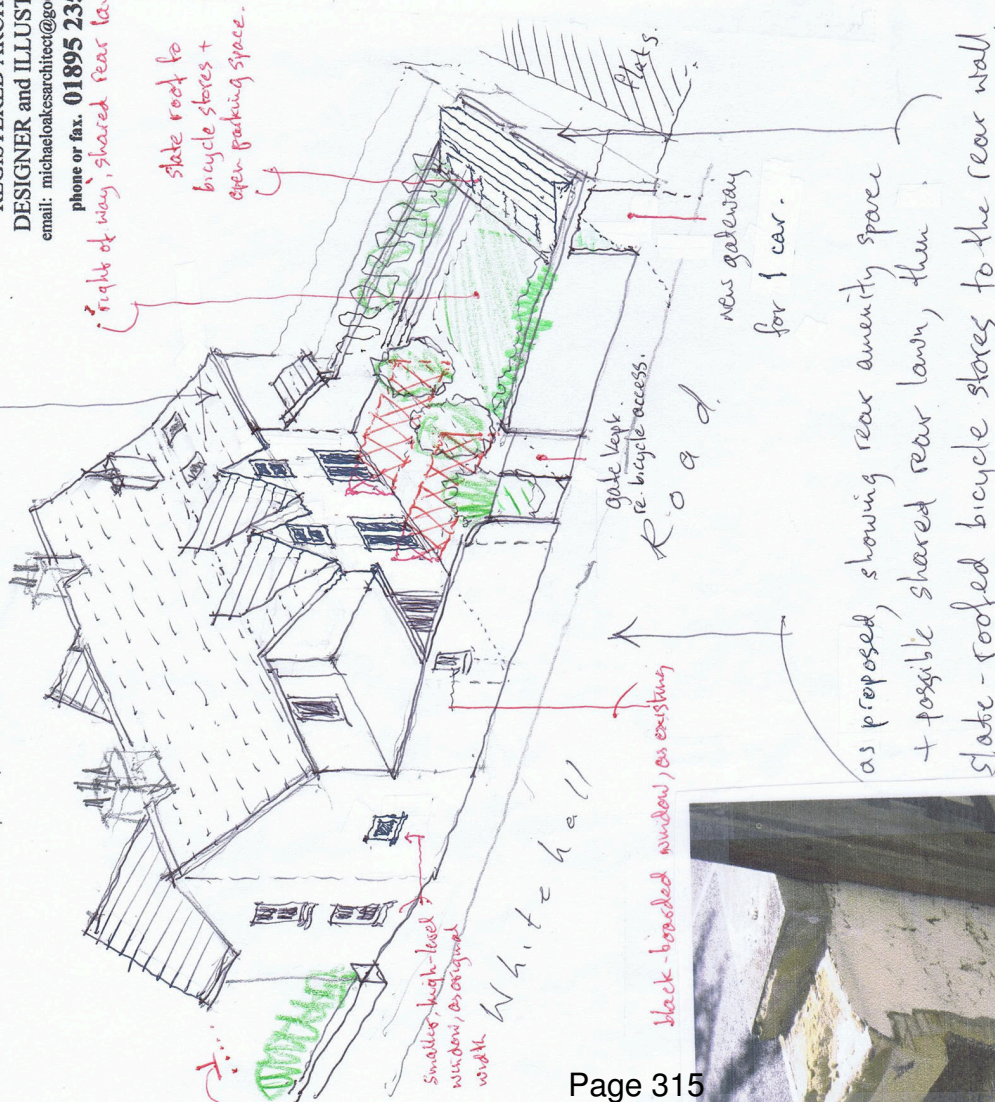
MICHAEL OAKES, B.A. Hons
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REGISTERED ARCHITECT
DESIGNER and ILLUSTRATOR
email: michaeloakesarchitect@googlegmail.com

phone or fax: 01895 235089
right of way, shared rear lawn, stairs.

slope of next-door cottages followed for the proposed 1st floor extension

much larger rear extension on the existing, lost to provide amenity space + improve proportions.



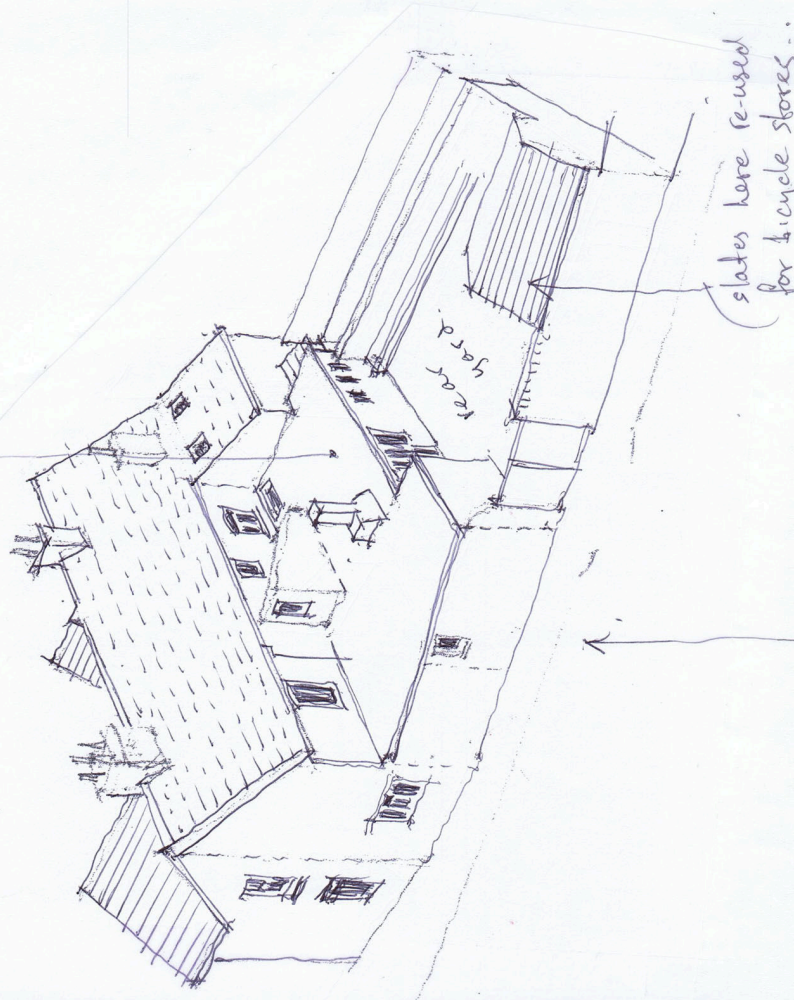
slate roof to bicycle stores + open parking space.

gate kept re. bicycle access.

new gateway for 1 car.

as proposed, showing rear amenity space + possible shared rear lawn, then slate-roofed bicycle stores to the rear wall.

"modern brick wall to frontage, structure revealed as lightweight celexon blocks with expanded metal horizontal bed-joint reinforcement every other course. [note! this structure was revealed by accident after a poorly-judged skip delivery, + will be made good if (as necessary) I"



slates here re-used for bicycle stores.

rear elevation, as existing

proposed change-of-use for the Cowley Brick + other alterations at 51 Chiltern View Road, Uxbridge, UB8 2FF for John O'Rourke, drawing. 4 a. a updated, version changer 28.8.10 June 2010 scale

M. Oakes, Registered Architect, 10 Parkfield Avenue, Hillingdon, Middlesex, UB10 0DF, Great Britain

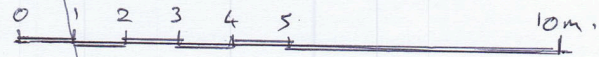
Key.

1. evergreen honeysuckle.
2. passionflower tied to wall + trellis - *P. caerulea*.
3. *Berberis darwinii* (max. 2.2m high).
4. small fruit tree - cherry.
5. ceanothus, evergreen autumnal blue, and lavender. (see below), + periwinkle.
6. existing cypress - in planter 6m tall
7. variegated *laureola* "crotanifolia"
8. lavender, eg "old English", *L. vera* + hidcote.
9. privet.

rear hardstanding to reuse existing grey yard slabs as/where possible, to avoid un-needed landfill.

existing london stock bricks to be salvaged + reused.

existing blue slates to be salvaged + re-used on rear lean-to.

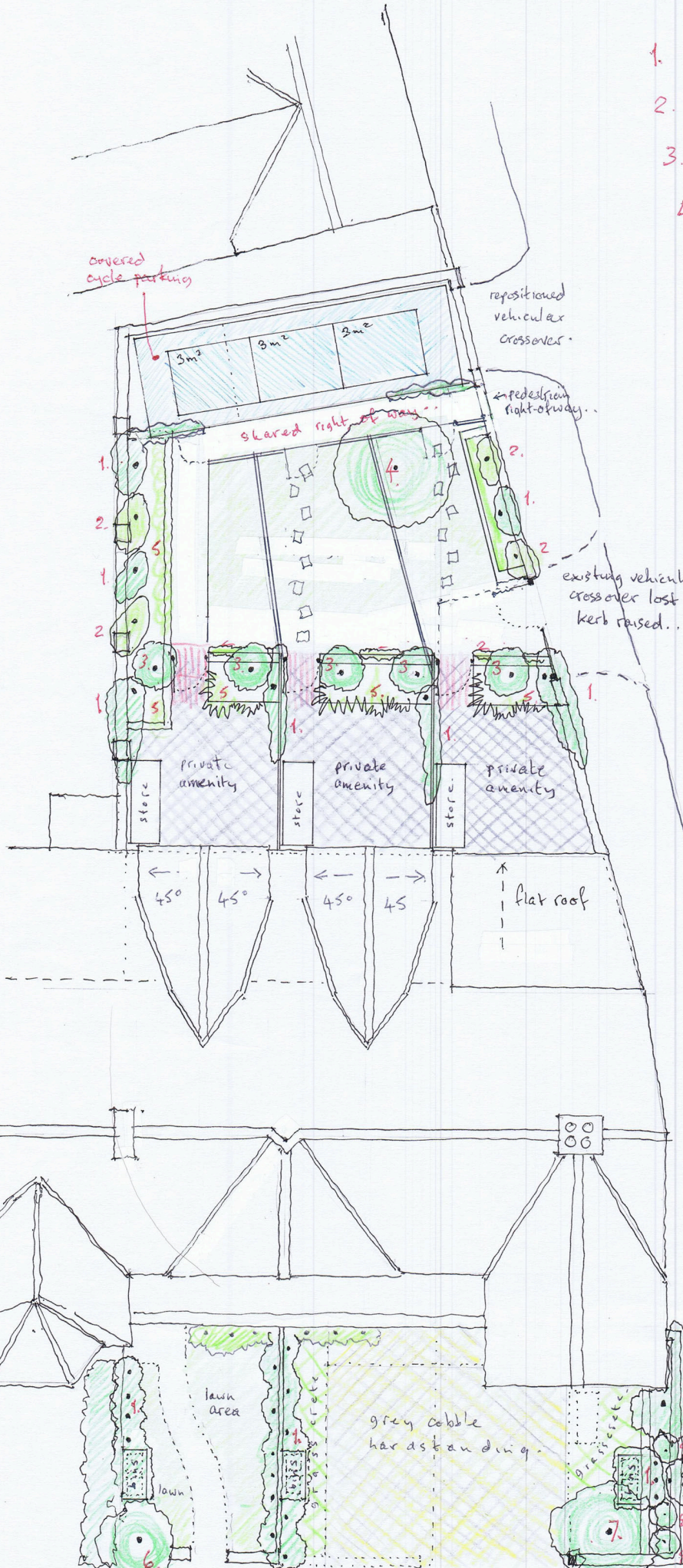


Version (2)

3 separate rear gardens.

roof plan + planting/
hardstanding plan.

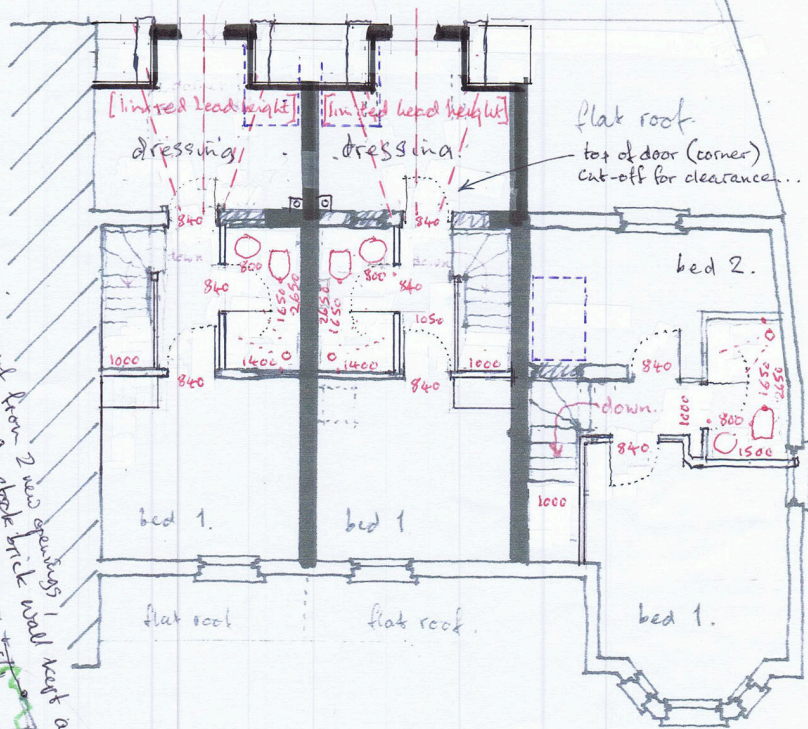
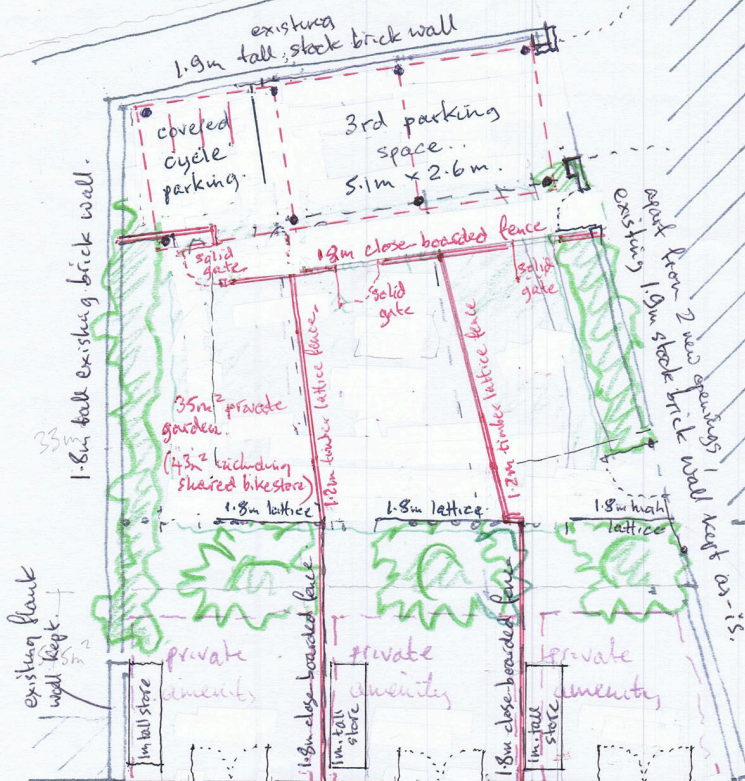
drawing 51.



proposed change-of-use for 'the Cow' Page 316k
51 Chiltern View Road, Uxbridge, UB8 2PF
for John O'Rourke,

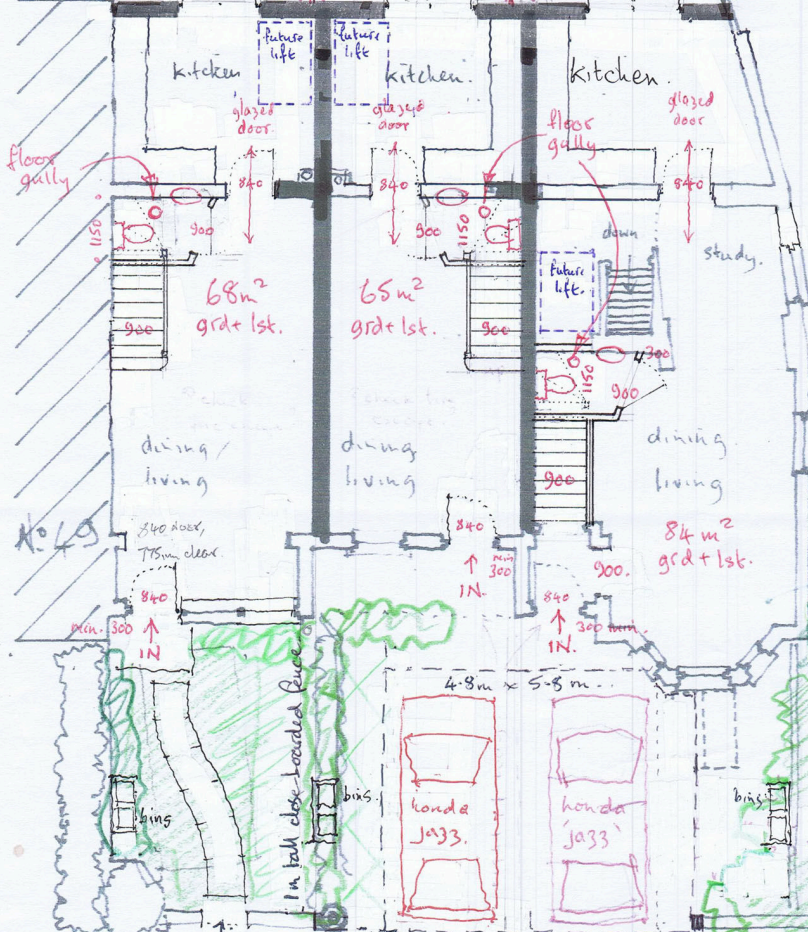
(@A3 size)
scale 1:100 Aug 2010.

Whitehall Road
No. 82

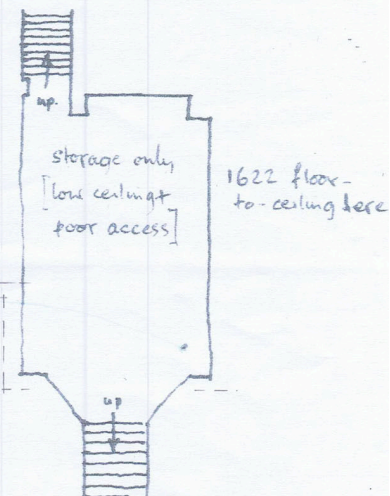


first-floor plan.

Scale 1:100 @ A3 size.



cellar plan.



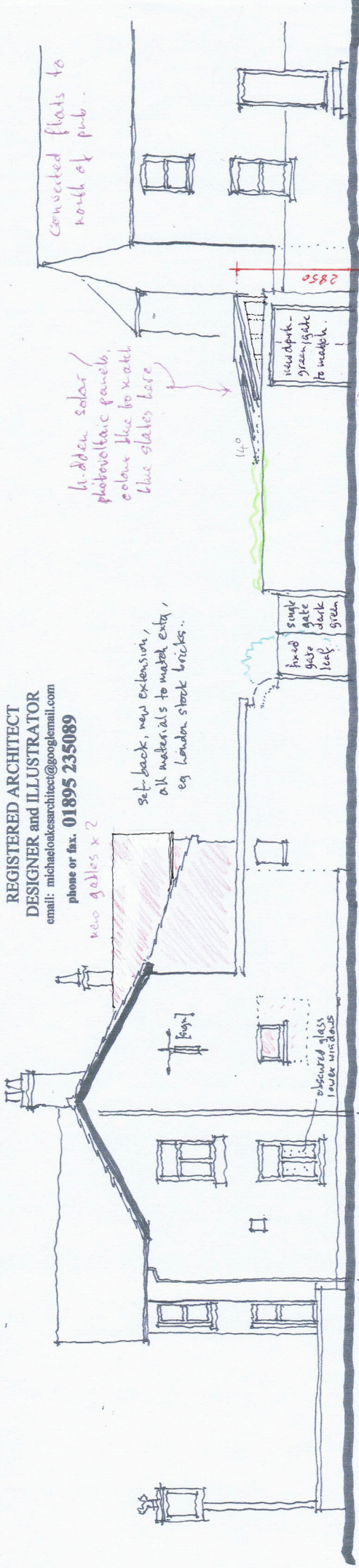
VERSION ②
3 separate rear gardens.

0 1 2 3 4 5 10 metres.

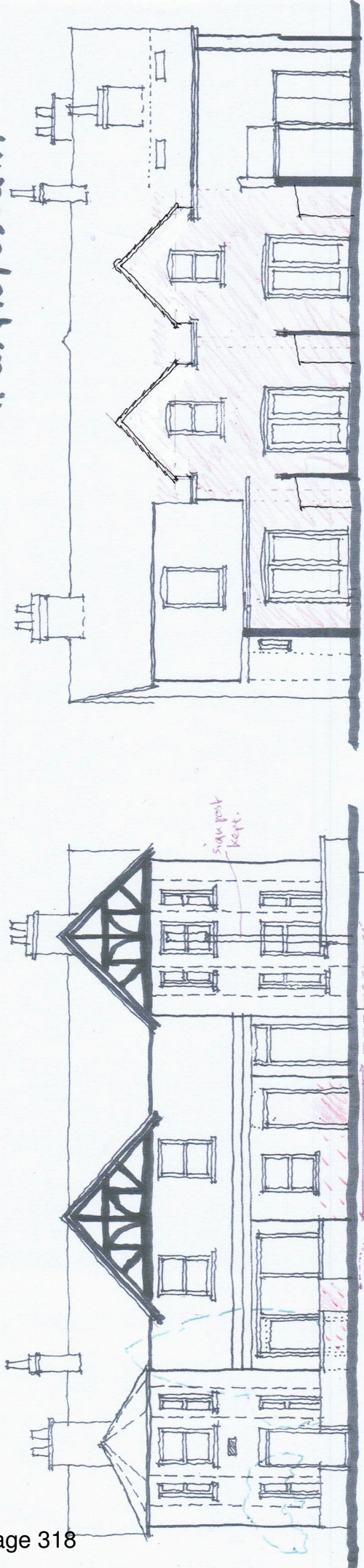
MICHAEL OAKES, B.A.Hons
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REGISTERED ARCHITECT
DESIGNER and ILLUSTRATOR
email: michaeloakesarchitect@googlemail.com
phone or fax: 01895 235089

elevation alongside Whitehall Road..



all as proposed...



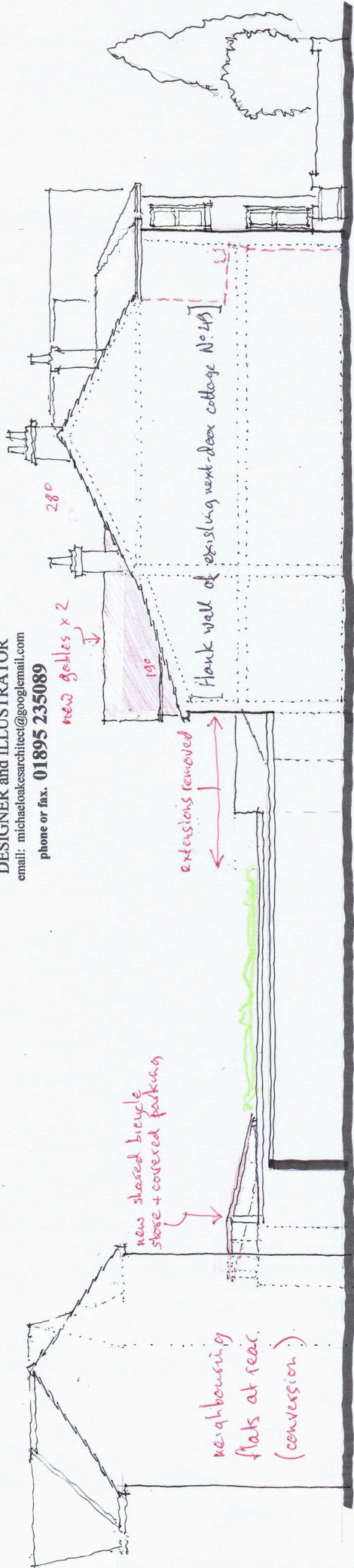
proposed change-of-use for the Cowley Brick + other alterations at 51 Chiltern View Road, Uxbridge, UB8 2FF for John O'Rourke, drawing 8.0 a-rear gate simplified 2.9.10. 1:100 @ A3 size.

M. Oakes, Registered Architect, 10 Parkfield Avenue, Hillingdon, Middlesex, UB10 0DF, Great Britain

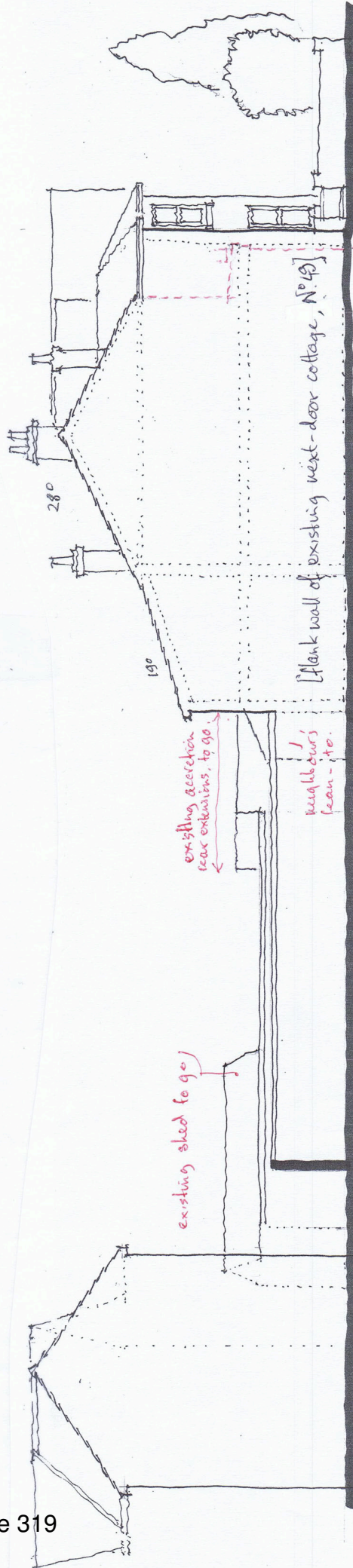
Side elevation, viewed from N° 47.

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Dipl. Architecture

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AS PROPOSED,



AS EXISTING.

proposed change-of-use for the Cowley Brick + other alterations at 51 Chiltern View Road, Uxbridge, UB8 2FF for John O'Rourke, drawing. 7a. a rear gable simplified 2.5.10
June 2010 scale 1:100 @ A3 size.

M. Oakes, Registered Architect. 10 Parkfield Avenue, Hillingdon, Middlesex, UB10 0DF, Great Britain

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DESIGNER and ILLUSTRATOR
email: michaeloakesarchitect@googlemail.com
phone or fax: 01895 235089

slope of next-door cottages' slate roof followed for the proposed 1st floor extension.

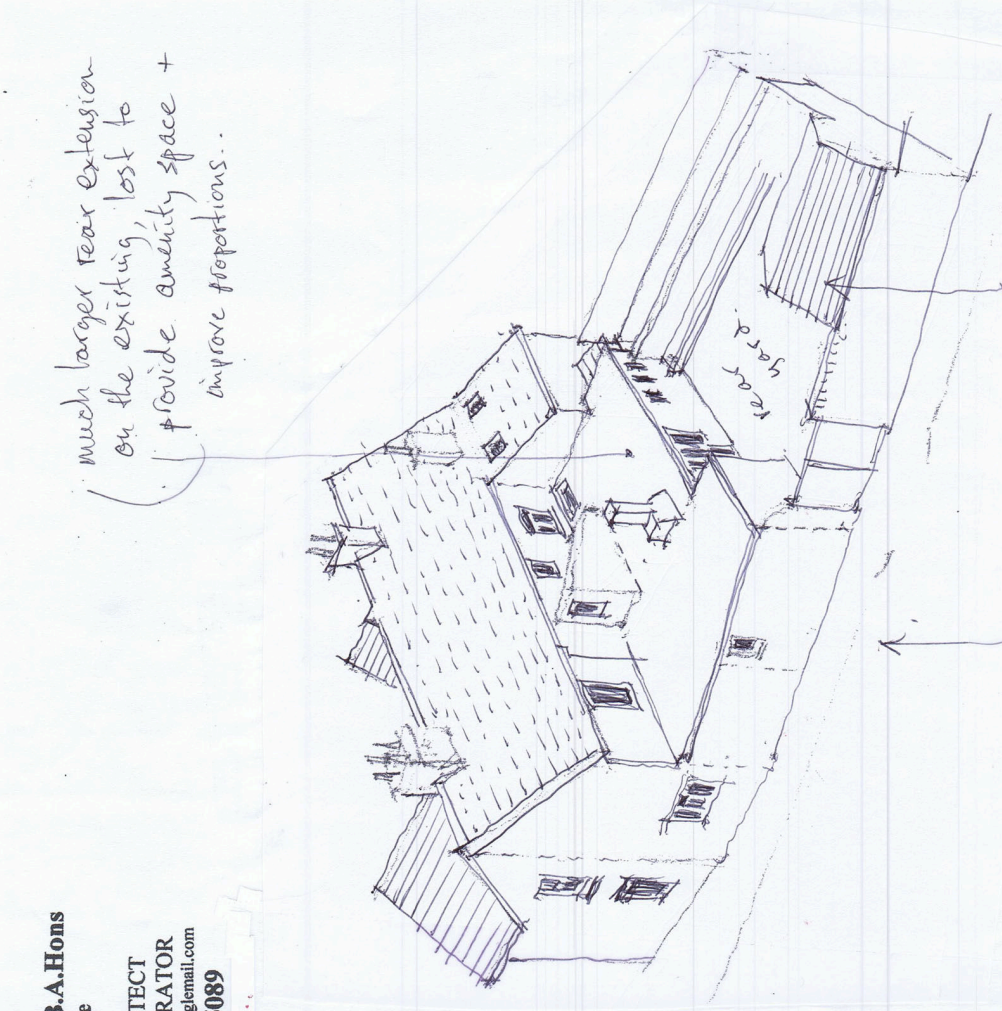
much larger rear extension on the existing, lost to provide amenity space + improve proportions.

3 No. separate rear gardens.

slate roof to bicycle stores + open parking space.

smaller, high-level window, as original with white hall

black-banded window, as existing



slates here re-used for bicycle stores.

rear elevation, as existing.

VERSION 2 3 separate rear gardens.

drawing. S2.

for John O'Rourke, June 2010 scale

UB8 2FF

proposed change-of-use for the Cowley Brick + other alterations at 51 Chiltern View Road, Uxbridge, Middlesex, UB10 0DF, Great Britain

M. Oakes, Registered Architect, 10 Parkfield Avenue, Hillingdon, Middlesex, UB10 0DF, Great Britain

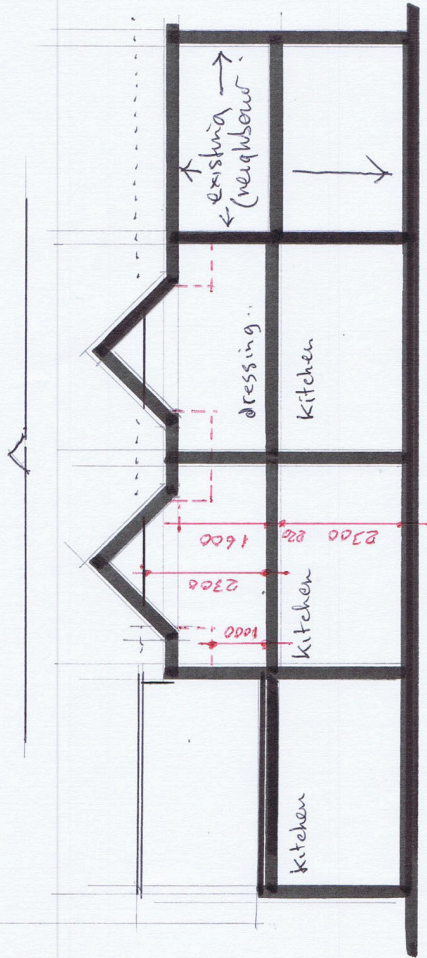


"modern brick wall to frontage, structure revealed as lightweight celcon blocks with expanded metal horizontal bed-joint reinforcement every other course. [note! this structure was revealed by accident after a poorly-judged skip delivery + will be made good if/as necessary]"

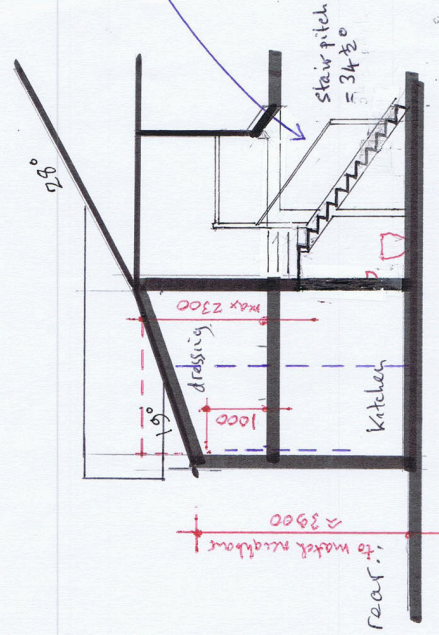
as proposed, showing rear amenity space + possible shared rear lawn, then slate-roofed bicycle stores to the rear wall.

MICHAEL OAKES, B.A.Hons
Dipl. Architecture

REGISTERED ARCHITECT
DESIGNER and ILLUSTRATOR
email: michaeloakesarchitect@googlemail.com
phone or fax: **01895 235089**

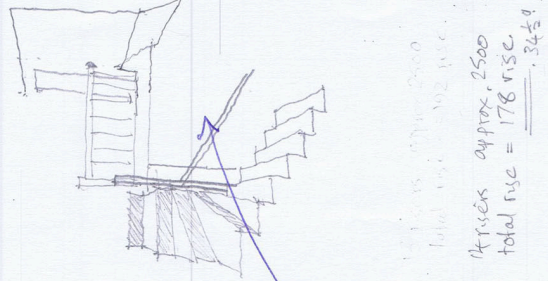


section thru' rear extension/s



section thru' limited head-height
1st-floor dressing room.

sections thru kitchen/
dressing room.



proposed change-of-use for the Cowley Brick' + other alterations at 51 Chiltern View Road, Uxbridge, UB8 2FF for John O'Rourke, drawing. 12. a. June 2010 scale 1:100 @ A3 size 0 - stair added. 22-11-10.

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Dipl. Architecture

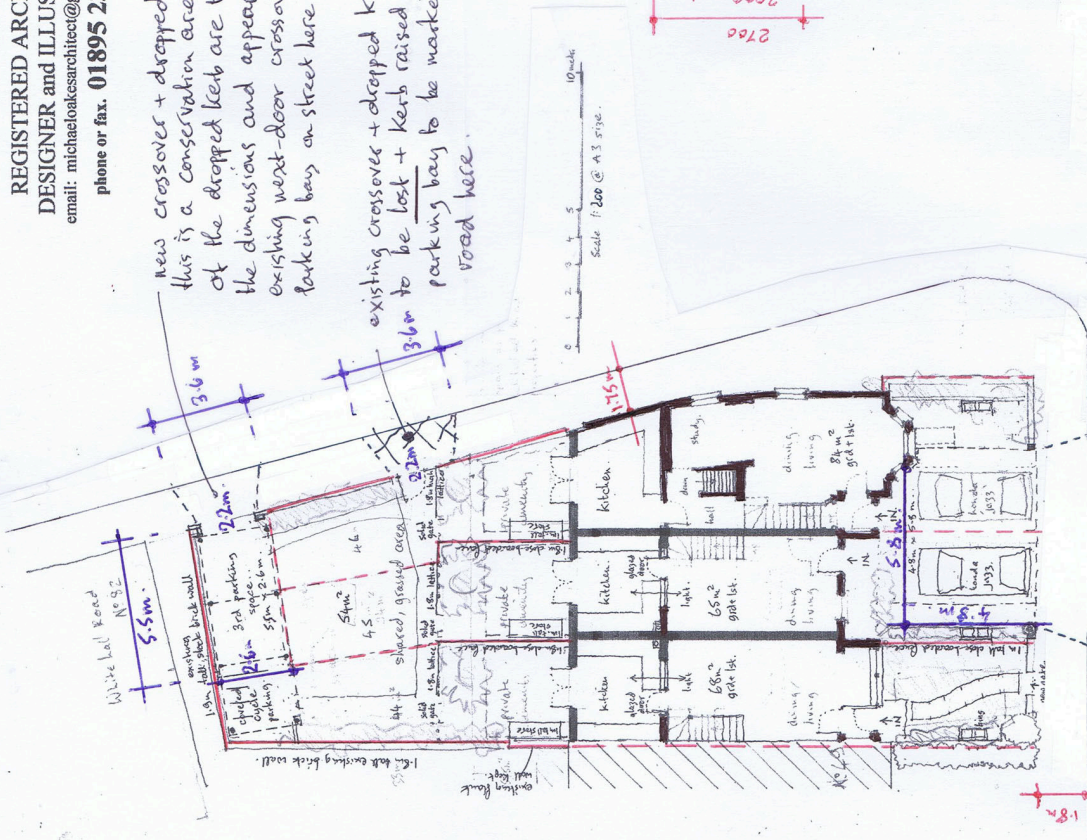
REGISTERED ARCHITECT
DESIGNER and ILLUSTRATOR
email: michaeloakesarchitect@googlemail.com
phone or fax: **01895 235089**

new crossover + dropped kerb. As this is a conservation area, the dimensions of the dropped kerb are to exactly match the dimensions and appearance of the existing next-door crossover (to be replaced). parking bays on street here lost + moved to entry crossover.

existing crossover + dropped kerb here to be lost + kerb raised; extra parking bay to be marked in the road here.

existing crossover to be kept.

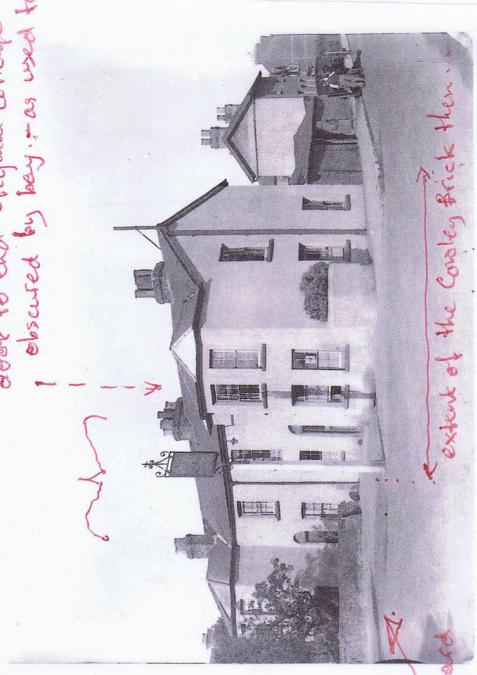
Crossover block plan.



proposed change - of - use for the Cowley Brick' + other alterations at 51 Chiltern View Road, Uxbridge, UB8 2FF for John O'Rourke, drawing. 14
June 2010 scale 1:100, 1:200 @ A3 size

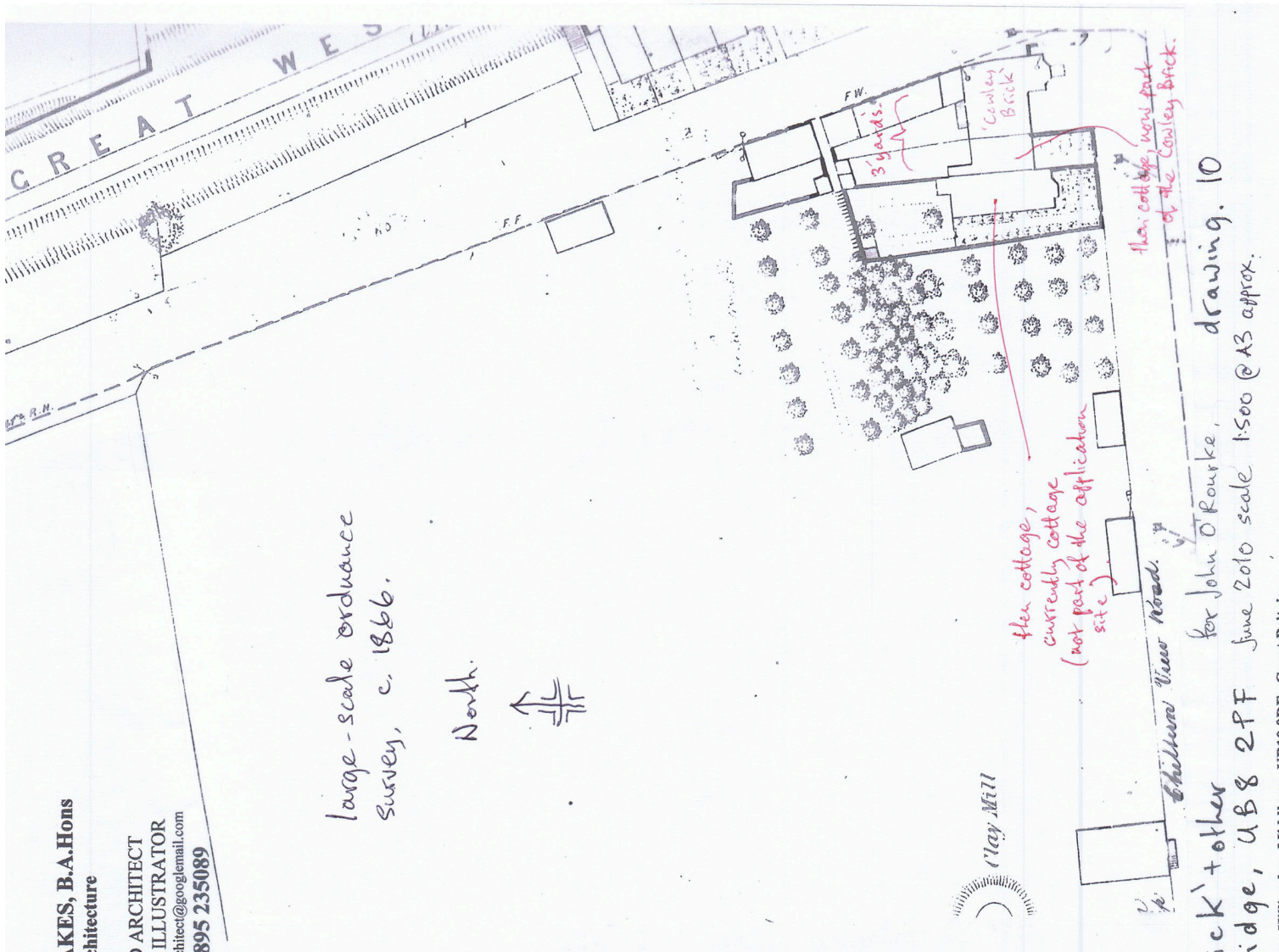
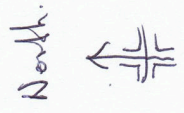
MICHAEL OAKES, B.A. Hons
 Dipl. Architecture
 REGISTERED ARCHITECT
 DESIGNER and ILLUSTRATOR
 email: michaeloakesarchitect@googlemail.com
 phone or fax: 01895 235089

central 2 cottages have mirror door arrangement
 door to end 'original cottage' obscured by bay - as used today.



photograph taken 15th June 1934, (local paper)

large-scale Ordnance Survey, c. 1866.



then cottage, currently cottage (not part of the application site)

then cottage, now part of the Cowley Brick

proposed change-of-use for the Cowley Brick + other alterations at 51 Chiltern View Road, Uxbridge, UB8 2FF for John O'Rourke, drawing. 10 June 2010 scale 1:500 @ A3 approx.

Left bank of No 82 Whitehall Rd.

MICHAEL OAKES, B.A.Hons
Dipl. Architecture
REGISTERED ARCHITECT
DESIGNER and ILLUSTRATOR
email: michaeloakesarchitect@googlemail.com
phone or fax. **01895 235089**

front view.



existing rear yard..

attached cottage, No 49



view from Chiltern View Road.

attached cottage, No 49



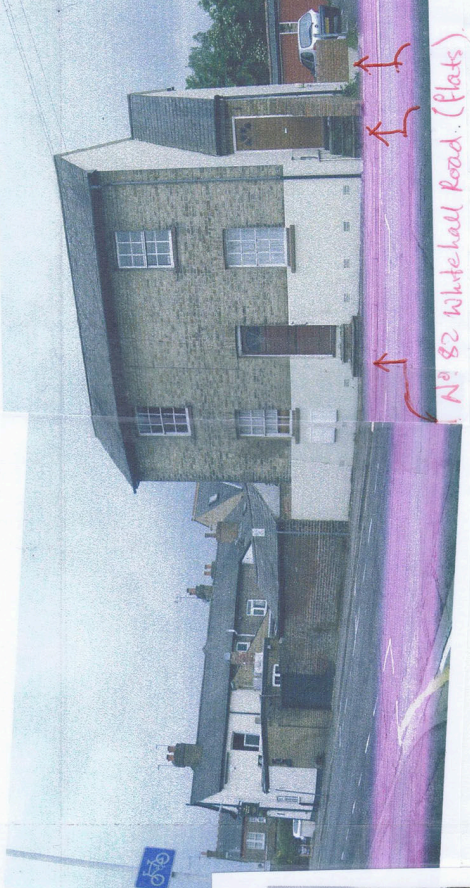
view in distance



side view.



side view.



No 82 Whitehall Road. (flats)



side view from Whitehall Road.



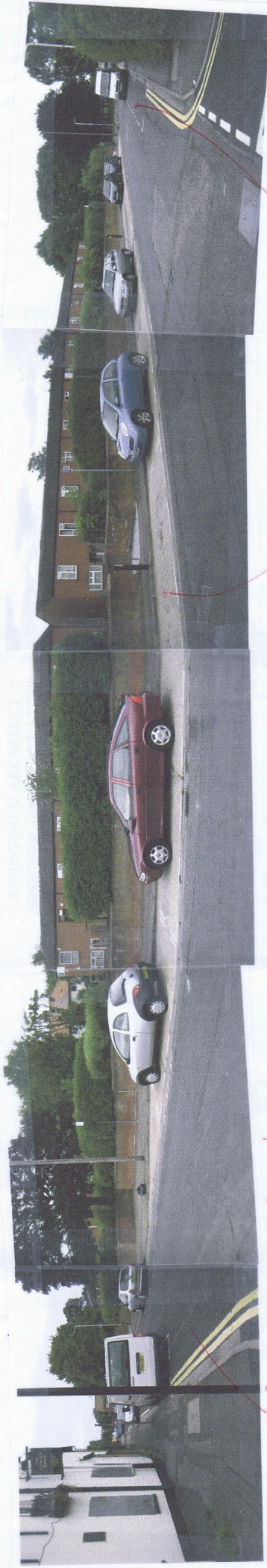
view of rear yard (from back)



neighbours rears...
drawing 2.

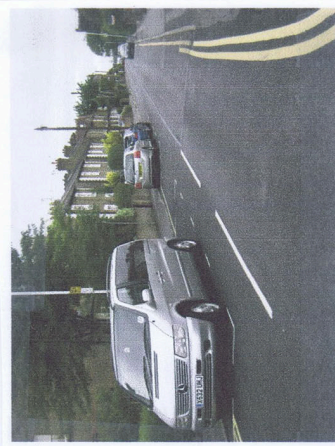
proposed change-of-use for 'the Cowley Brick',
51 Chiltern View Road, Uxbridge, UB8 2PF

June 2010
for John O'Rourke, scale.



Whitehall Road, street parking bays

immediately adjacent parking (photo taken 5pm, weekday) 2 hr max. stay, 9am to 5pm, Monday to Friday.. ideal for occasional visitors, etc., 25 normal + 2 disabled bays all within 50 metres...



parking in Chiltern View Road.



existing crossover be moved further rear - this area beyond public parking bay, therefore no offside parking lost here..

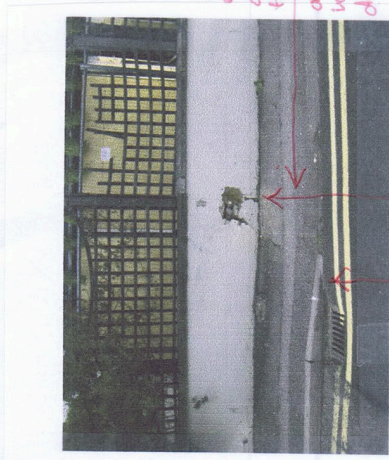
photos, existing wide dropped kerb to frontage..



this area of wall proposed to go..

this area of dwarf wall a later addition - see historic photo

existing dropped kerb.



area of new dwarf wall to go, allowing for use of existing dropped kerb.

joint between old + new walls



old wall/new wall copings do not match..



different copings between differentiating old + new walls.

proposed change of use for the Cowley Brick + other alterations at 51 Chiltern View Road, Uxbridge, UB8 2FF for John O'Fourke, June 2010 scale drawing. J.



Notes

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Site Address

**51 Chiltern View Road
Uxbridge**

Planning Application Ref:

64176/APP/2010/2097

Planning Committee

Central and South

Scale

1:1,250

Date

**January
2011**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

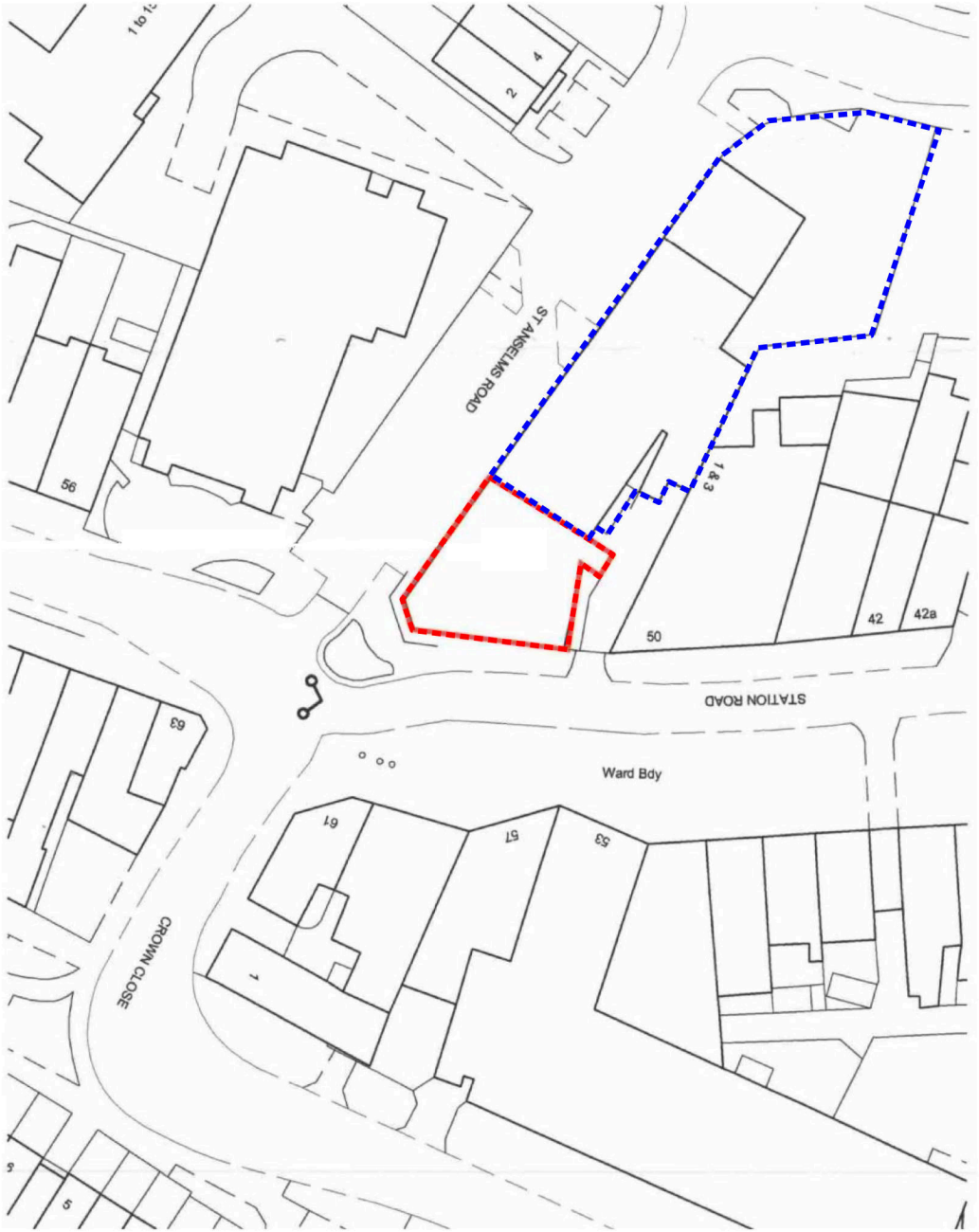
Address GROUND FLOOR, OLD POST OFFICE 52 STATION ROAD HAYES

Development: Change of use from Class A1 (Retail) to Class D1 (Non-Residential Institutions) for use as a Health Centre, with associated internal alterations.

LBH Ref Nos: 35807/APP/2009/2363

Date Plans Received: 29/10/2009 **Date(s) of Amendment(s):**

Date Application Valid: 19/11/2009

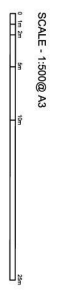


- Key**
- Application Boundary
 - 52 Station Road, Hayes, Middlesex, UB8 3DS
 - Adjacent property and carpark (HESA health care building) owned by Hillingdon PCT
- Notes**
- Rev. A: 28.01.10
 - Blue line boundary indicated on plan.

Location Plan

PLANNING

DO NOT SCALE OFF DRAWING
 DO NOT SCALE OFF DIMENSIONS
 CHECK ALL DIMENSIONS ON SITE



LOCATION PLAN
 52 Station Road, Hayes
 Hillingdon PCT

MURPHY

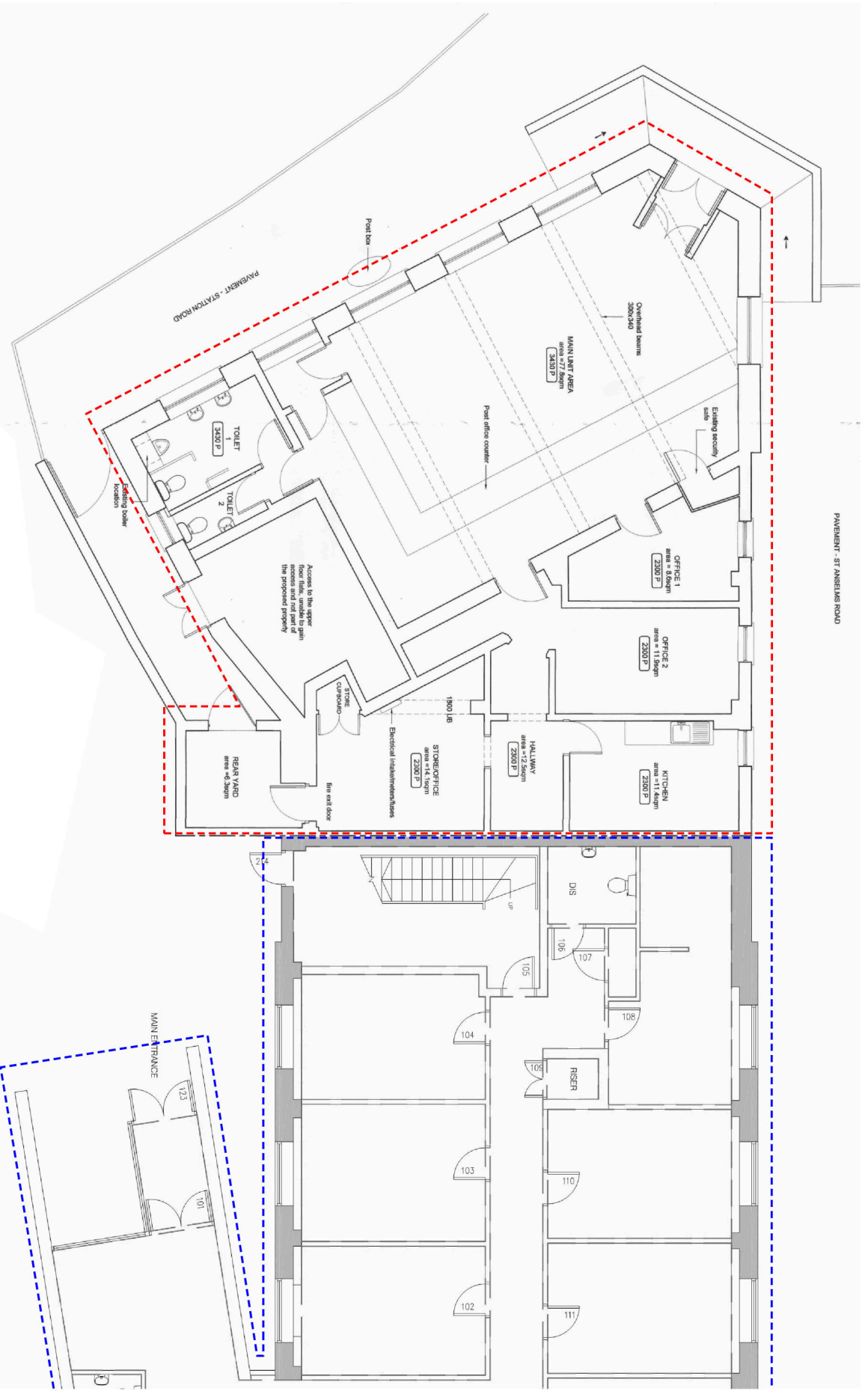
28/01/10 Rev. A
 28/01/10 Rev. A
 1:500 @ A3

160 Old Street
 London EC1V 9RU

Telephone 020 7480 8778
 Facsimile 020 7480 8779

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 Prepared using Microstation V8 XM

PANEMENT - ST ANSELMS ROAD



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Prepared using Microstation V8 XM

PLANNING

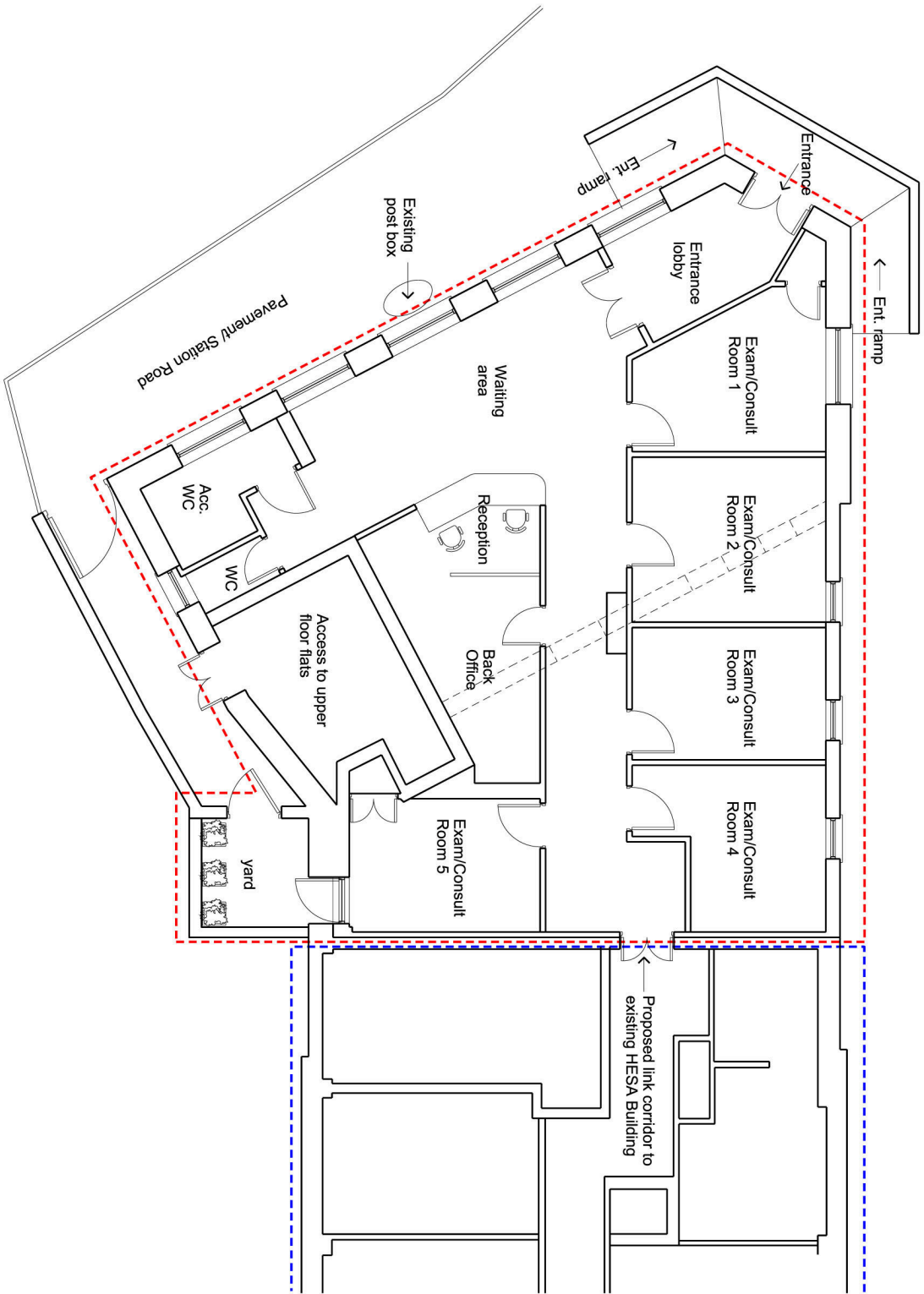
Notes

- Key**
- - - Application Boundary
 - - - HESA Health care Building, owned by Hillingdon PCT

EXISTING FLOOR PLAN
25/03/00 005 Rev
52 Station Road Hayes
Hillingdon PCT
MURPHY PHILLIPS
140 Old Street
London EC1V 9RU
Telephone 020 7480 8778
Facsimile 020 7480 8775

Floor Plan Existing

Pavement/ St Anselms Road



SCALE - 1:50 @ A1 (1:100 @ A3)

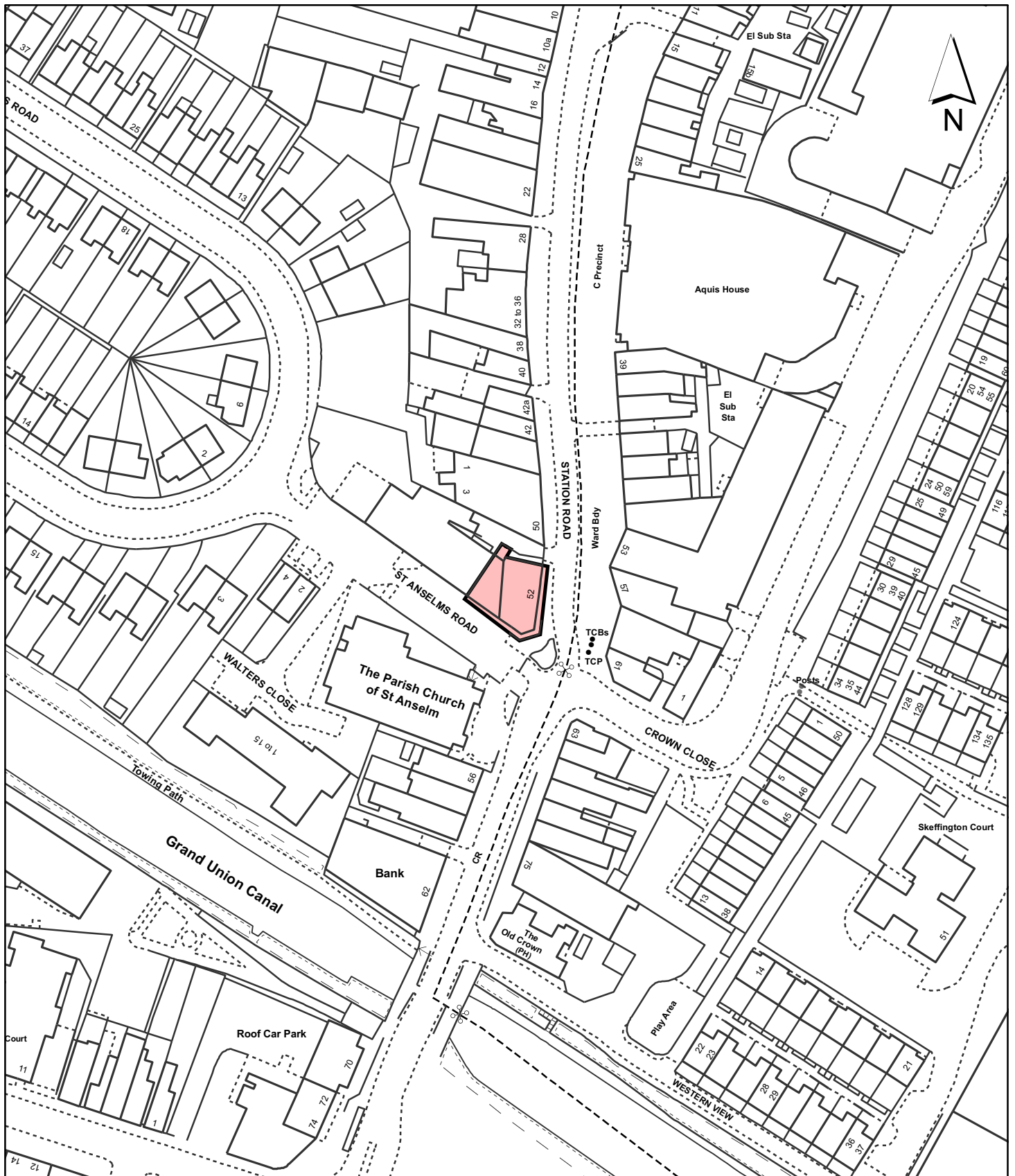
0 1 2 3 4 5m




PLANNING

Notes

- Key**
- - - Application Boundary
 - - - HESA Health care Building, owned by Hillingdon PCT



Notes

 Site boundary

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Site Address

**52 Station Road
Hayes**

Planning Application Ref:

35807/APP/2009/2363

Planning Committee

Central and South

Scale

1:1,250

Date

January 2010

**LONDON BOROUGH
OF HILLINGDON**

**Planning &
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address THE ARENA, STOCKLEY PARK STOCKLEY ROAD WEST DRAYTON

Development: Change of use from Class B1 (Office) to Class D1 (Non-residential institutions) for use as further education college and management training premises.

LBH Ref Nos: 37800/APP/2010/1669

Date Plans Received:	19/07/2010	Date(s) of Amendment(s):	19/07/2010
Date Application Valid:	22/07/2010		13/09/2010
			06/10/2010
			09/11/2010
			11/12/2010
			05/01/2011



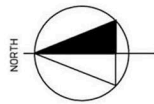
STEPHEN F WALKER BA Dipl Arch
PROPERTY & ARCHITECTURAL CONSULTANT

ARCHITECTURAL SERVICES: PROJECT MANAGEMENT, INTERIOR DESIGN
 AND EXTERIOR DESIGN, CONSTRUCTION MANAGEMENT
 CDM COORDINATION, MEASURED AND CONDTITION SURVEYING

THE COLLEGE OF BUSINESS MANAGEMENT LTD
 D1 CHANGE OF USE APPLICATION
 UPPER GRD FLOOR, THE ARENA, STOCKLEY PARK

EXISTING AND PROPOSED SITE PLAN
 9 THE COURT, ASHFIELD ROAD, NAB WOOD, SHIPLEY, BD 18 4LF
 T: 07912 294909 E: sf@propertygooplans11.com

DRAWING 10-395-003
REVISION -
SCALE 1:200 ON A3 PAPER
JUL 2010



SHARED ACCESSWAY

OTHER USERS

CAR PARKING

LANDSCAPED AREA

LANDSCAPED AREA

ROTUNDA - SHARED ACCESS

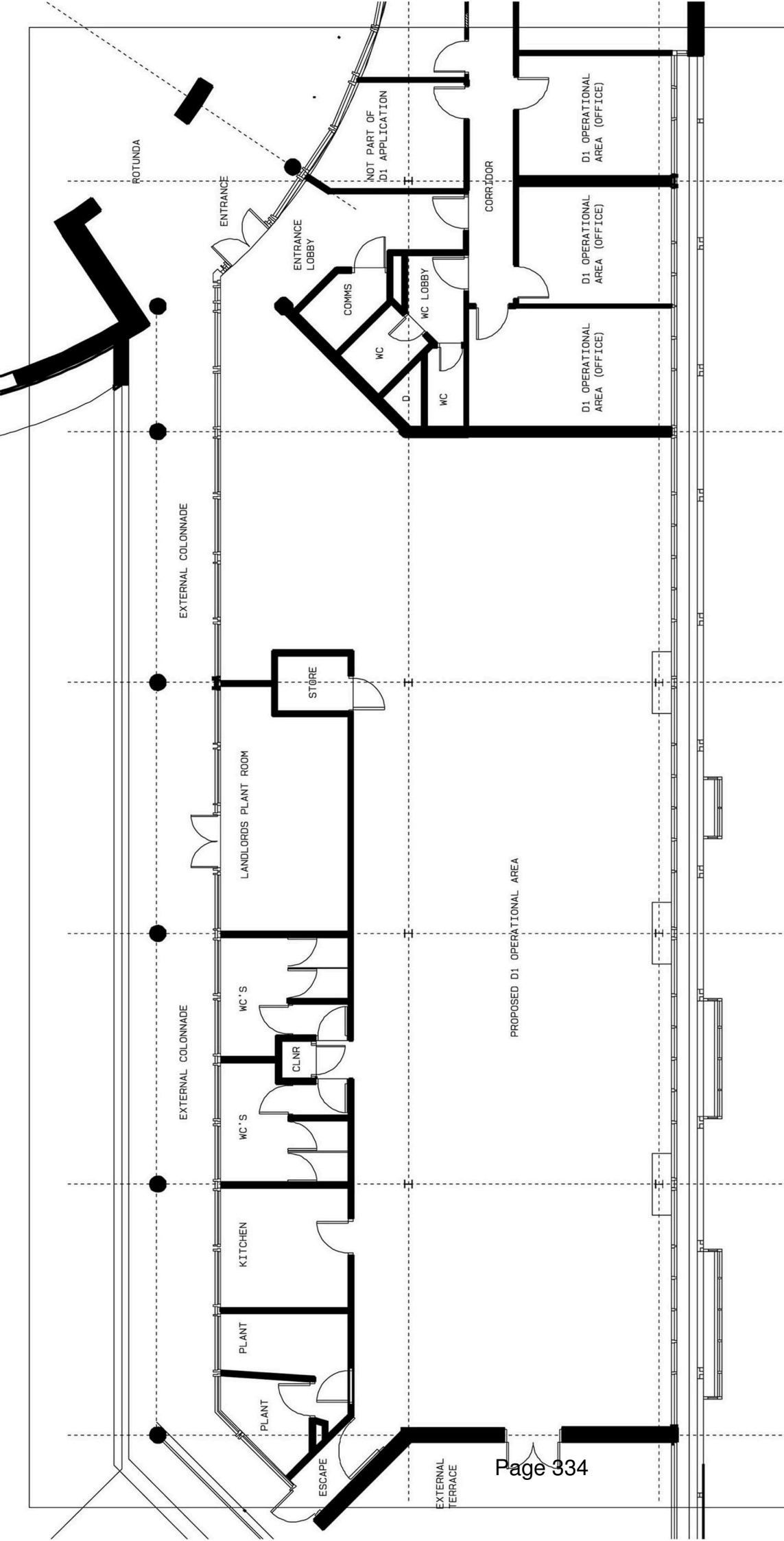
EXTERNAL COLONNADE

OTHER USERS

D1 APPLICATION AREA

OTHER USERS

LAKE



STEPHEN F WALKER BA Dip Arch
PROPERTY & ARCHITECTURAL CONSULTANT

ARCHITECTURAL SERVICES, PROJECT MANAGEMENT, INTERIOR DESIGN,
PROPERTY & DEVELOPMENT CONSULTANCY, FACILITIES MANAGEMENT,
CIVIL COORDINATION, MEASURED AND CONDITION SURVEYING

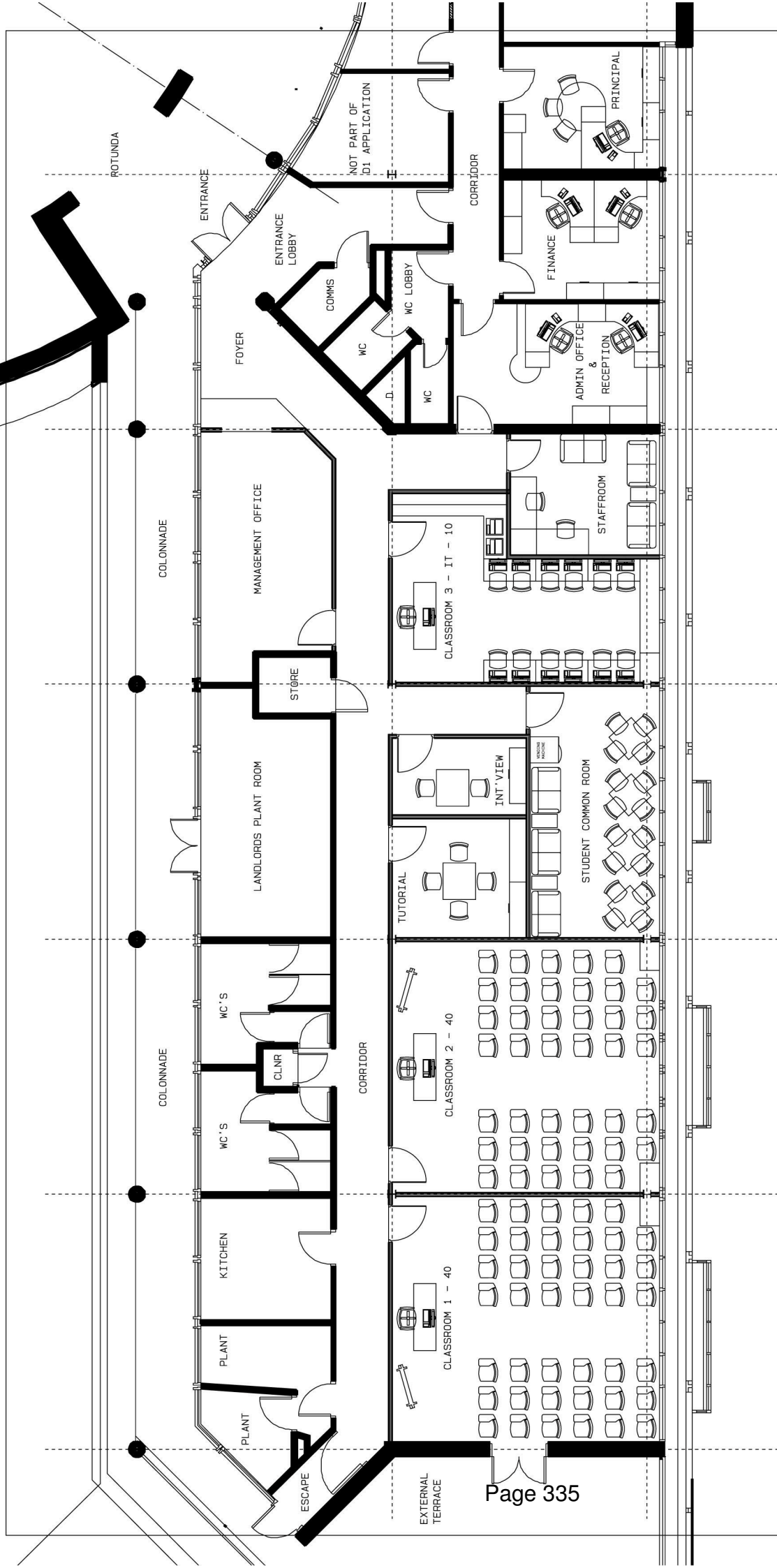
THE COLLEGE OF BUSINESS MANAGEMENT LTD
COLLEGE OF BUSINESS MANAGEMENT
UPPER GRID FLOOR, THE ARENA, STOCKLEY PARK, UB11 1AA

DRAWING:
10-2004-004
REVISION -
06.11.2010
06.13 PAPER
31.8.2010

8 The Square, Stockley Park, Uxbridge, Middlesex, UB11 4JF
Tel: 01812 266081 Email: s.f.walker@stephenfwalker.com

NORTH

0 1 2 3 4 5
SCALE METRES



PROPOSED FLOORPLATE LAYOUT - OPTION C

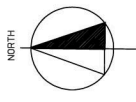


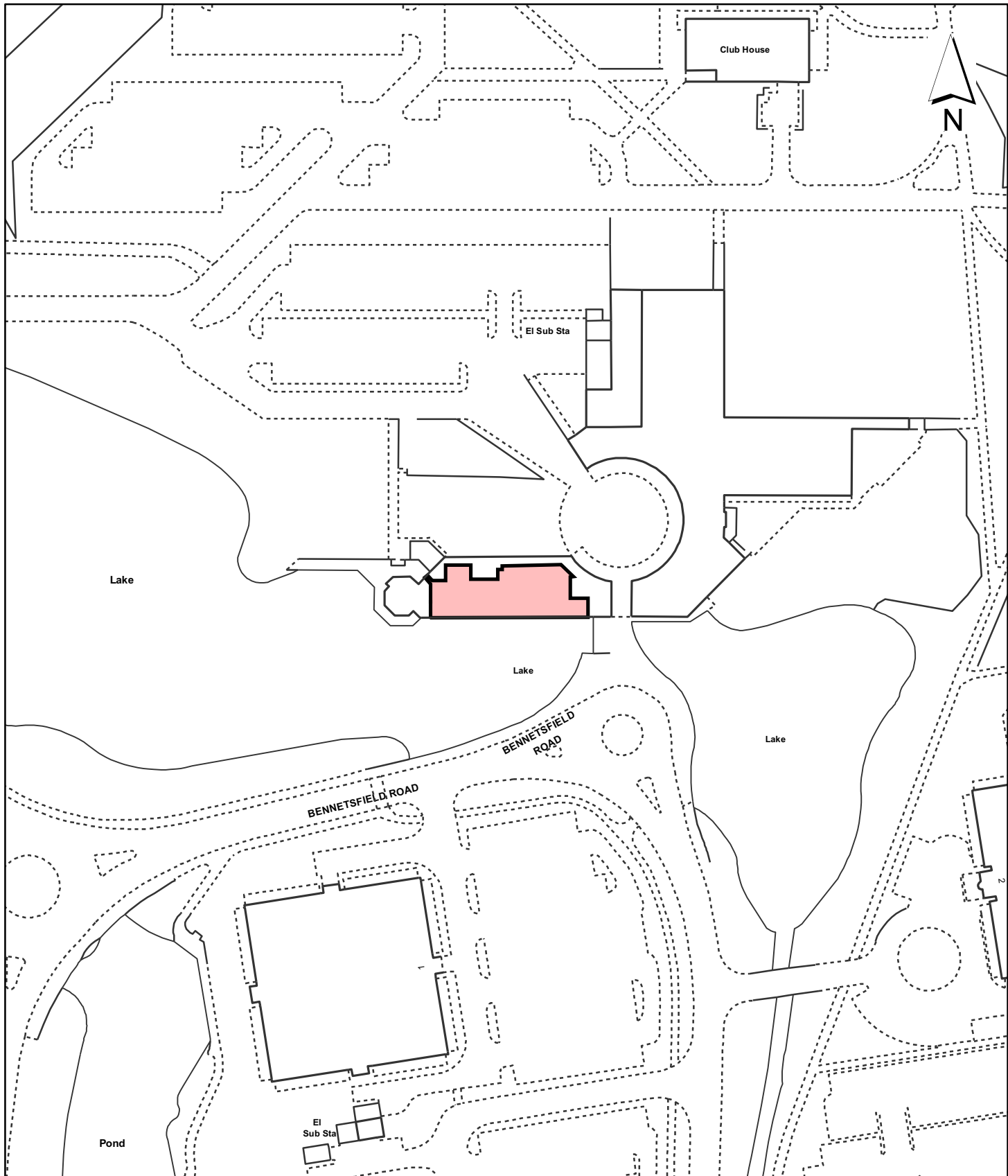
STEPHEN F WALKER BA Dip Arch
PROPERTY & ARCHITECTURAL CONSULTANT



ARCHITECTURAL SERVICES: PROJECT MANAGEMENT, INTERIOR DESIGN
CONSTRUCTION MANAGEMENT, COST ESTIMATION, PROJECT MANAGEMENT
CDM COORDINATION, MEASUREMENT AND CONDITION SURVEYING

THE COLLEGE OF BUSINESS MANAGEMENT LTD
CHANGE OF USE APPLICATION
UPPER GROUND FLOOR, THE ARSENAL, STOCKLEY PARK, USSL1 1AA
PROPOSED FLOOR PLAN LAYOUT - OPTION B
9 The Courtyard, Abingdon Road, New Wood, Shipley, BD16 4UF
Tel: 01912 264895 Email: stephen@stephenfw.com

DRAWING 10-395-006
REVISION -
SCALE 1:100
ON 25/7/2018
SEP 2018





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	<p>Planning Application Ref:</p> <p>37800/APP/2010/1669</p>	<p>Scale</p> <p>1:1,250</p>	 <p>HILLINGDON LONDON</p>
	<p>Planning Committee</p> <p>Central and South</p>	<p>Date</p> <p>November 2010</p>	

Report of the Head of Planning & Enforcement Services

Address BRUNEL UNIVERSITY KINGSTON LANE HILLINGDON

Development: Erection of a galvanised/timber framed compound to house 2 external chillers

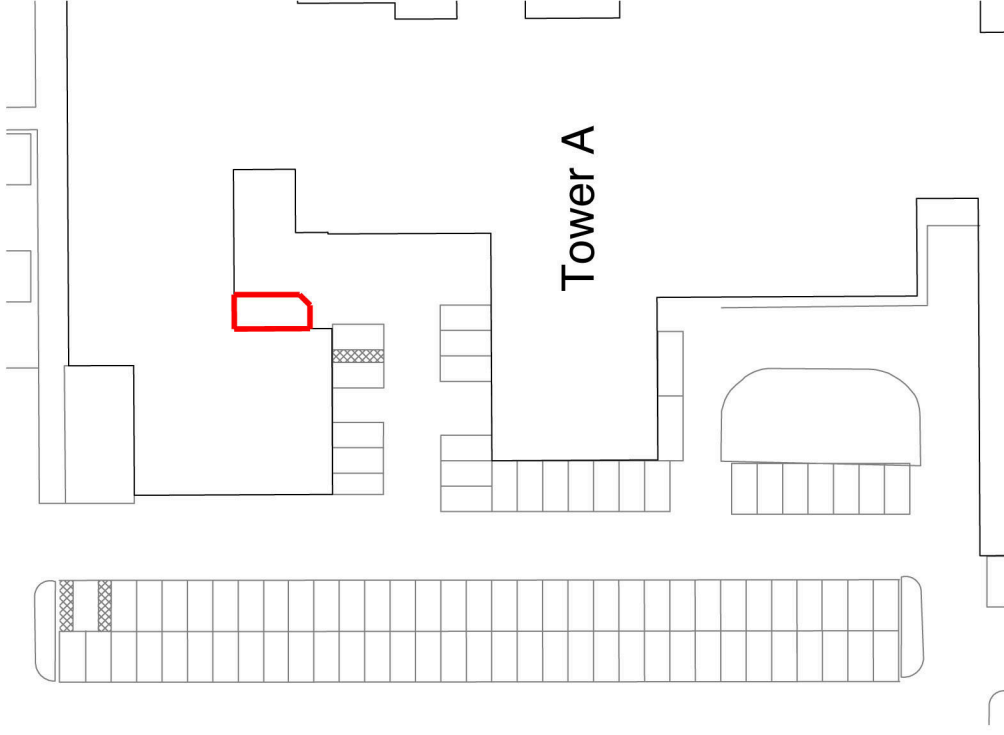
LBH Ref Nos: 532/APP/2010/1964

Date Plans Received: 20/08/2010 **Date(s) of Amendment(s):** 20/08/2010

Date Application Valid: 27/08/2010 27/08/2010

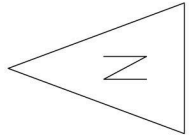


LOCATION PLAN 1:5000



BLOCK PLAN 1:5000

Tower A



rev: P1 by: dc date: 20.08.10
 PLANNING ISSUE

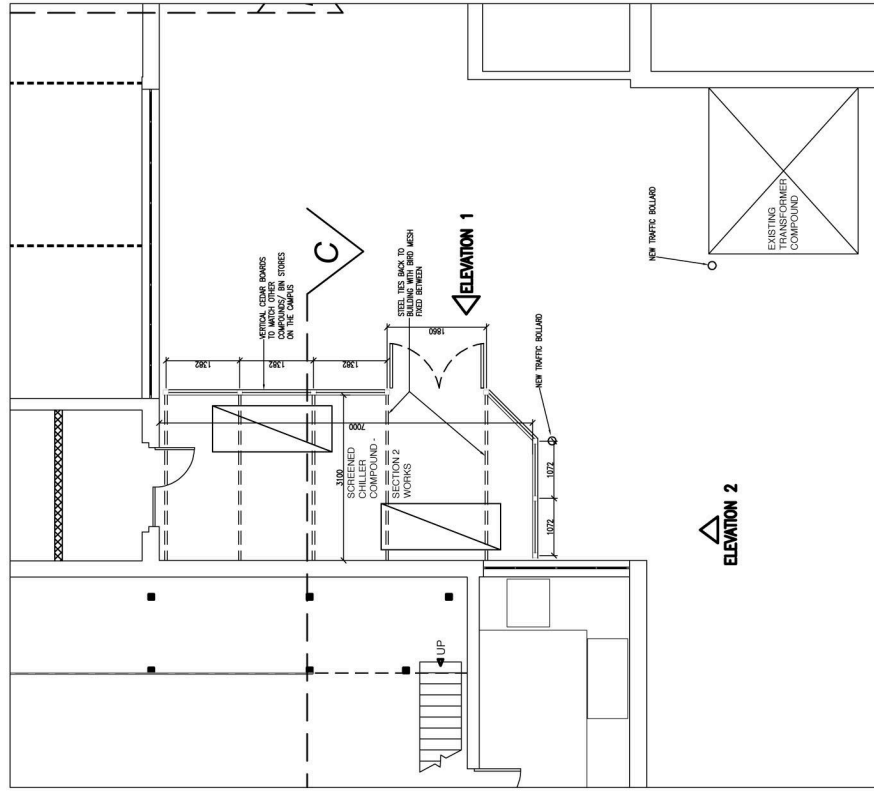
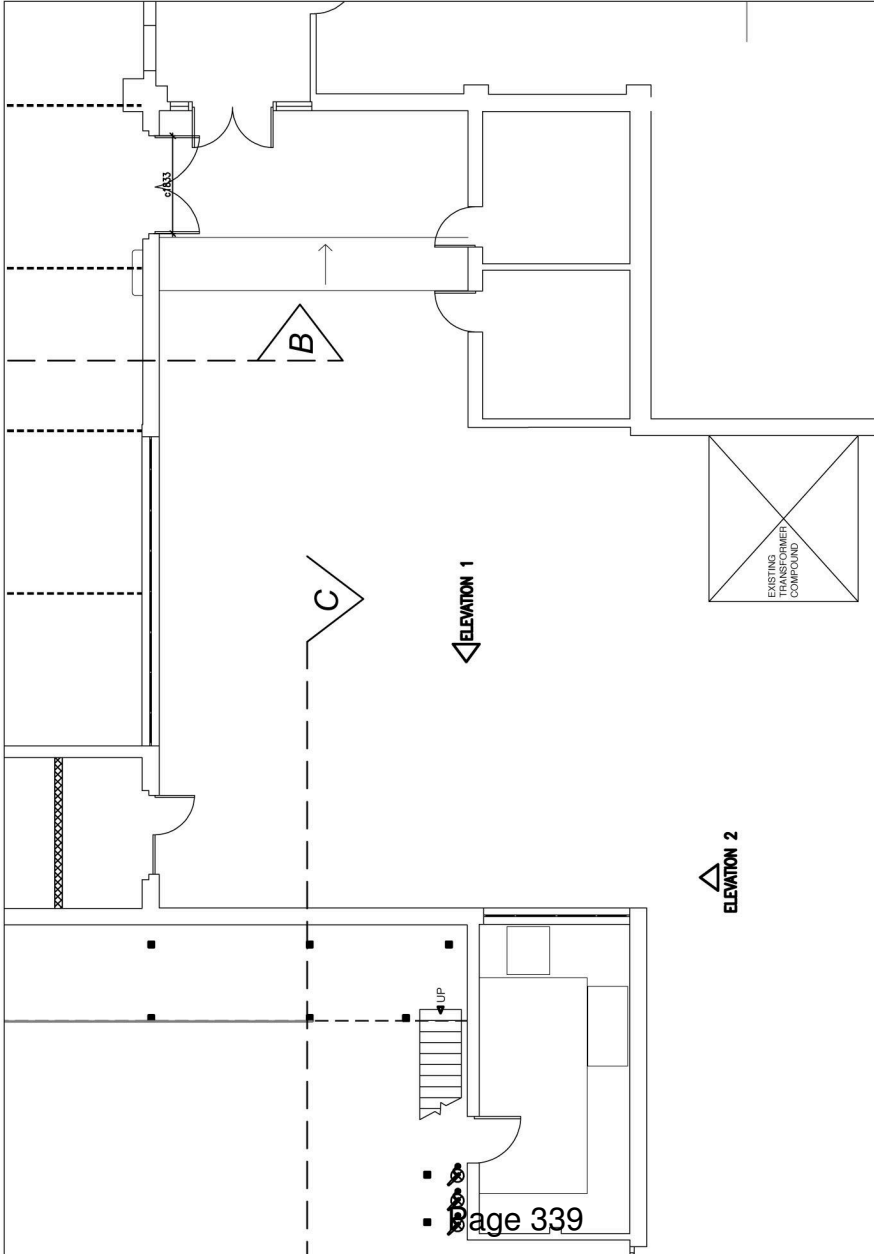
client and project title
 BRUNEL UNIVERSITY
 BCAST PROJECT

drawing title
 Site Plan

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architect
Wilson Mason and Partners
 3 Chandos Street, Cavendish Square, London, W1G 9JU
 tel: 020 7637 1501 fax: 020 7631 0325 www.wilsonmason.co.uk

HC
 by: _____ chk: _____
 date: 11.08.10 scale: 1:200@A3



EXISTING PLAN

PROPOSED PLAN

rev: P2 by: dc
 PLANNING ISSUE
 Scaling corrected

date: 27.08.10

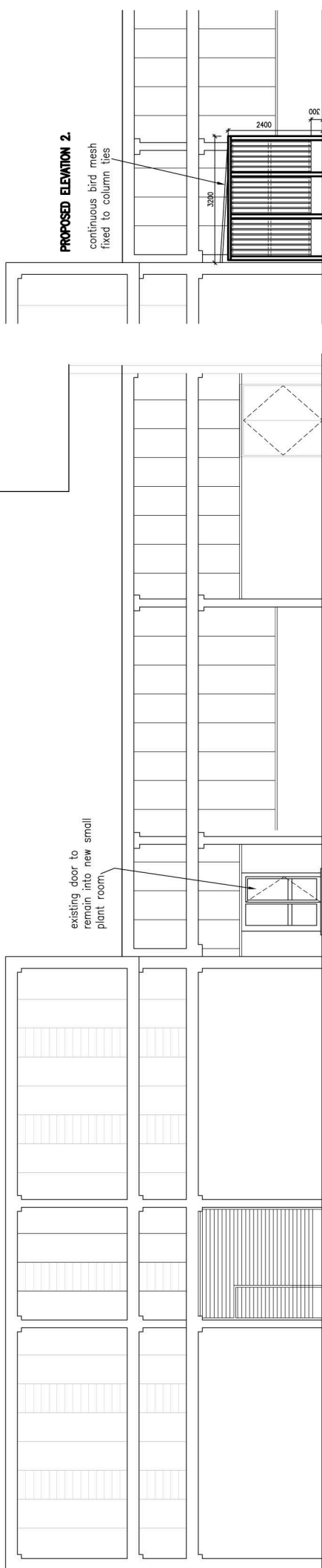
client and project title
 BRUNEL UNIVERSITY
 BCAST PROJECT

drawing title
 Chillers Compound
 Plans

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architect
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 3 Chandos Street, Cavendish Square, London W1G 9JU
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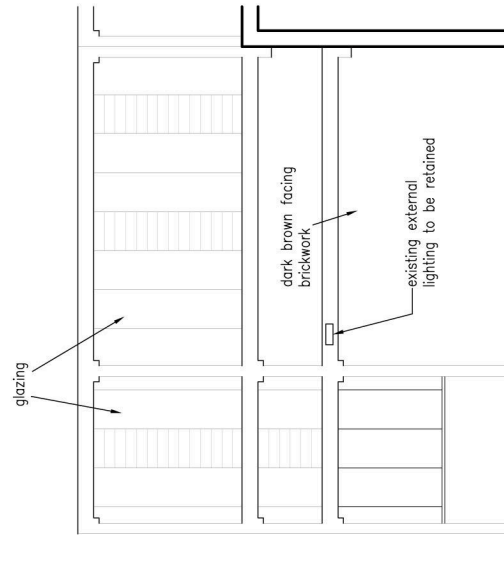
DC
 by: _____ chk: _____
 date: 11.08.10 scale: 1:100@A3 no: 5247 - L(1-10) P2 rev: _____



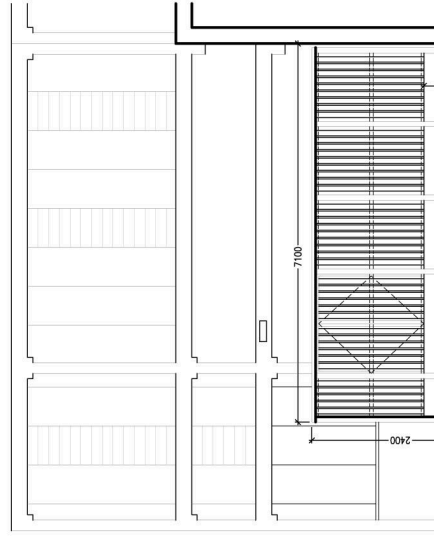
EXISTING ELEVATION 2.

NEW SCREENED CHILLER COMPOUND

Western Red Cedar cladding in galvanised steel frames fixed between galv columns, to match other compounds/ bin stores

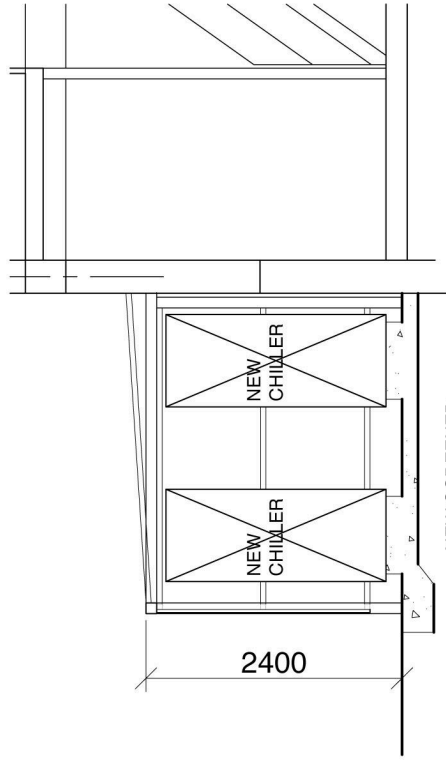


EXISTING ELEVATION 1.



PROPOSED ELEVATION 1.

NEW SCREENED CHILLER COMPOUND- SECTION 2



rev: P1 by: dc date: 20.08.10 PLANNING ISSUE

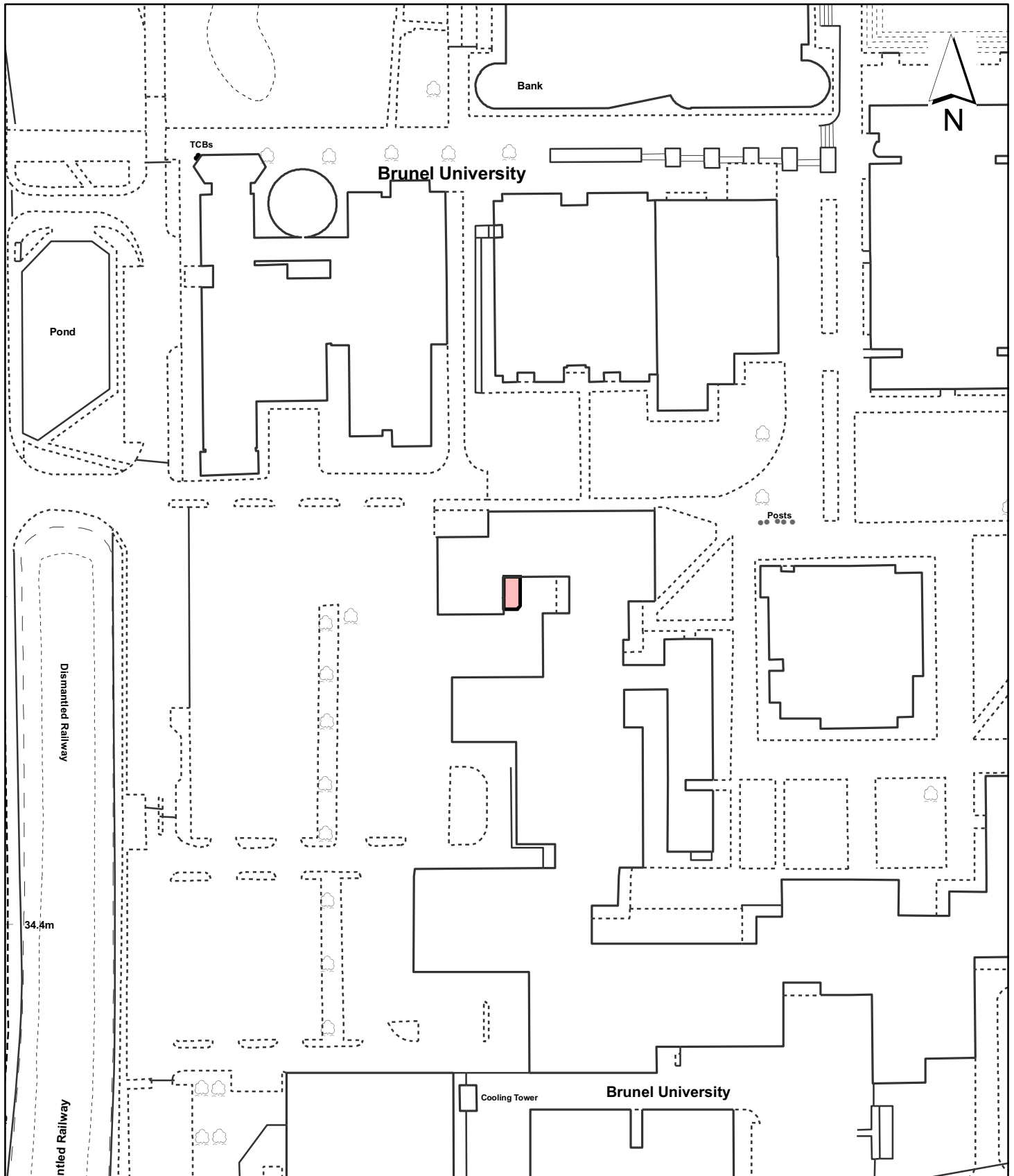
client and project title BRUNEL UNIVERSITY BCAST PROJECT

drawing title Chillers Compound Elevations & Section


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architect Wilson Mason and Partners 3 Chandos Street, Cavendish Square, London W1G 9JU tel: 020 7637 1501 fax: 020 7631 0325 www.wilsonmason.co.uk

HC by: chk date: 11.08.10 scale: 1:100/50 no: 5247 - L(1-1)11 rev: P1



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**Brunel University
Kingston Lane
Hillingdon**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:
532/APP/2010/1964

Planning Committee
Central and South

Scale
1:1,250

Date
**January
2011**



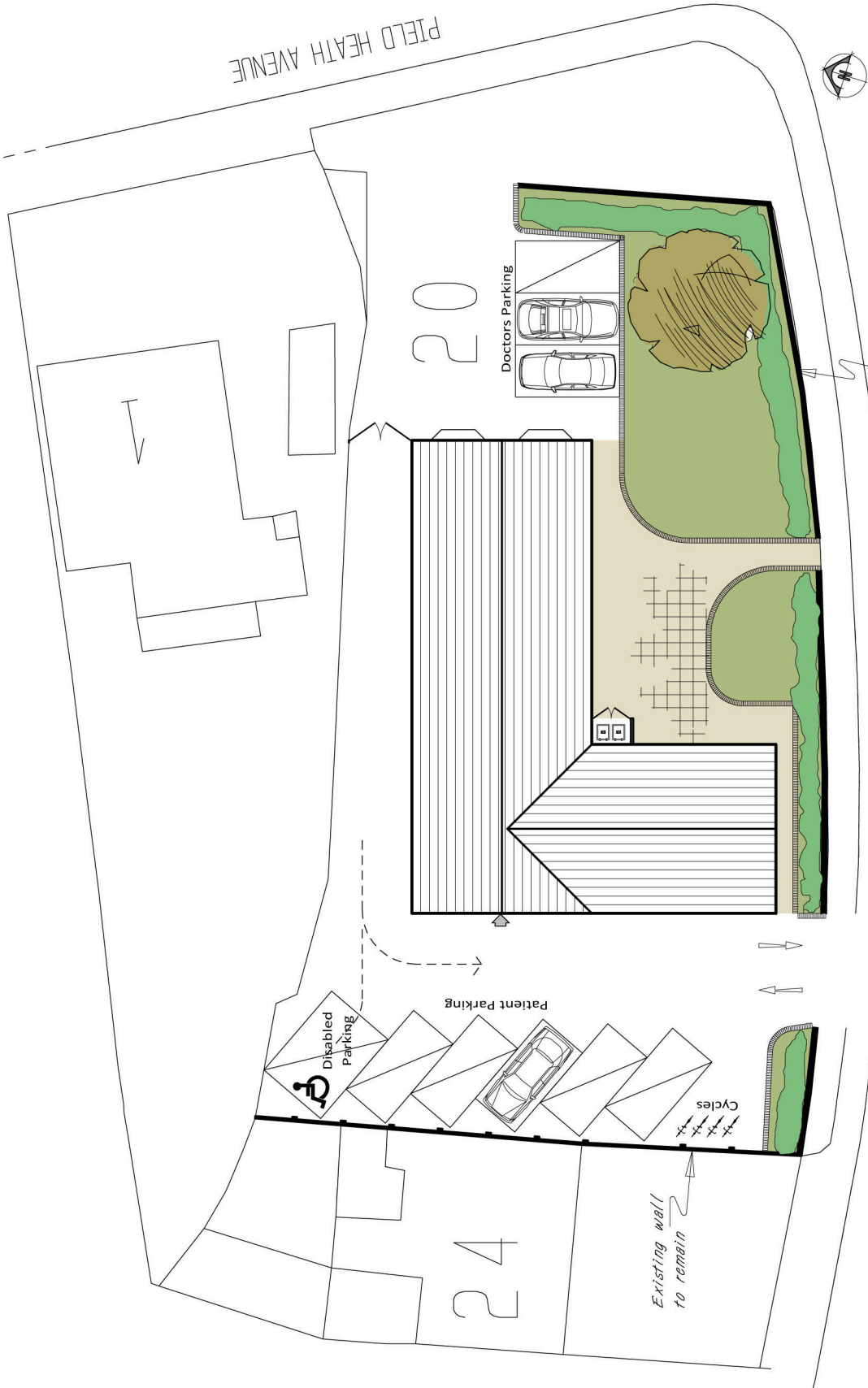
Report of the Head of Planning & Enforcement Services

Address 20 FIELD HEATH ROAD HILLINGDON

Development: Change of use from Class C3 (residential) to Class D1 for use as medical centre and single storey rear/side extension.

LBH Ref Nos: 21661/APP/2010/1716


Date Plans Received:	20/07/2010	Date(s) of Amendment(s):	20/07/2010
Date Application Valid:	02/08/2010		28/07/2010
			02/08/2010
			29/10/2010



FIELD HEATH ROAD

Block Plan



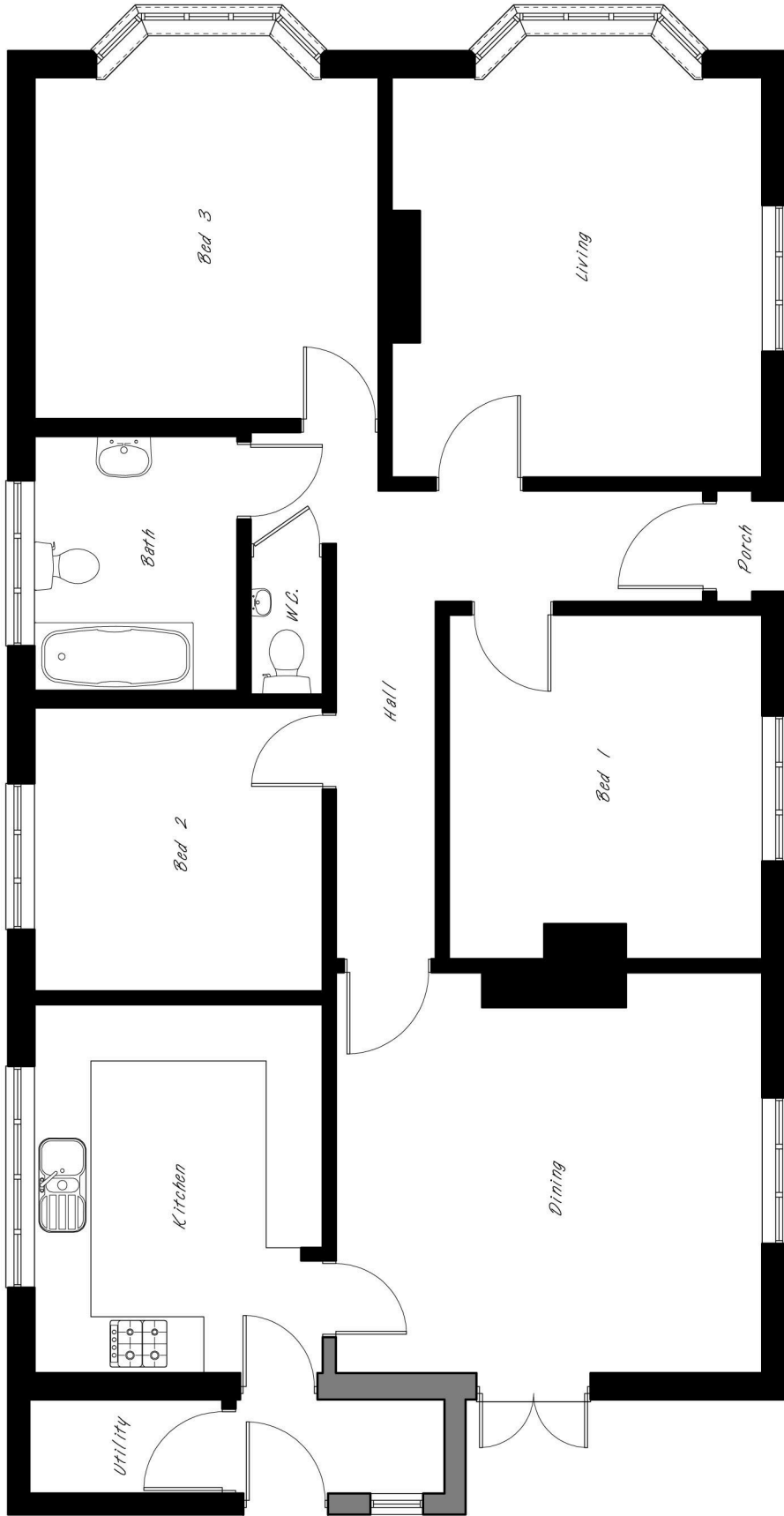
 BUILDING SERVICES Architectural Designers & Surveyors Uxbridge (01895) 811177	DRAWN: DAF	SCALE: 1 : 200 @ A3	DATE: October '10
	DRAWING NO: 10/293/11		REV: B

Proposed Change of Use.

SITE: 20 Field Heath Road,
Hillingdon,
Middx. UB8 3NG

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Garage




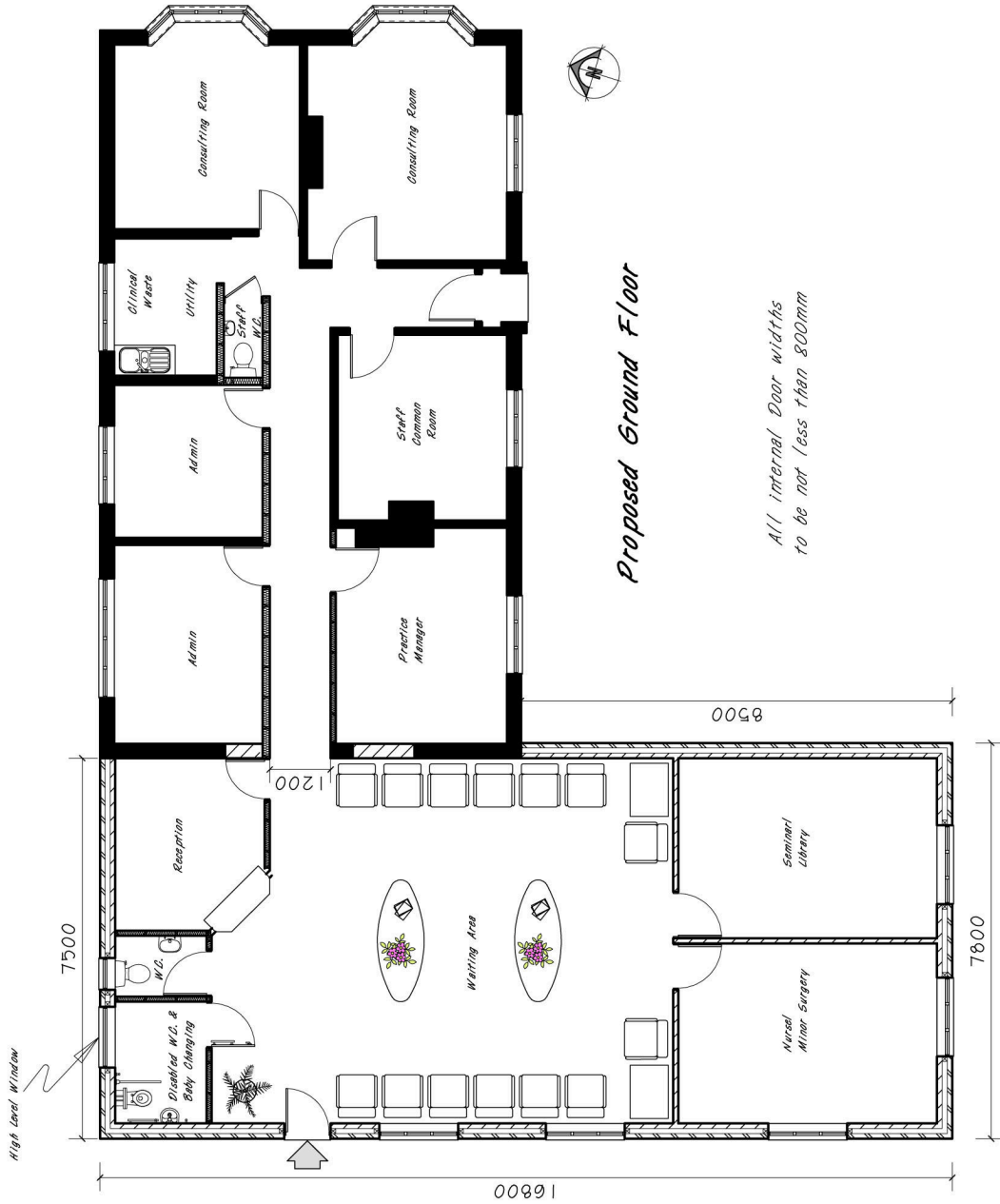
Existing Ground Floor

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 BUILDING SERVICES Architectural Designers & Surveyors Uxbridge (01895) 811177	DRAWN: DAF	SCALE: 1:50 @ A3	DATE: July '10
	DRAWING NO: 10/295/01	REV:	



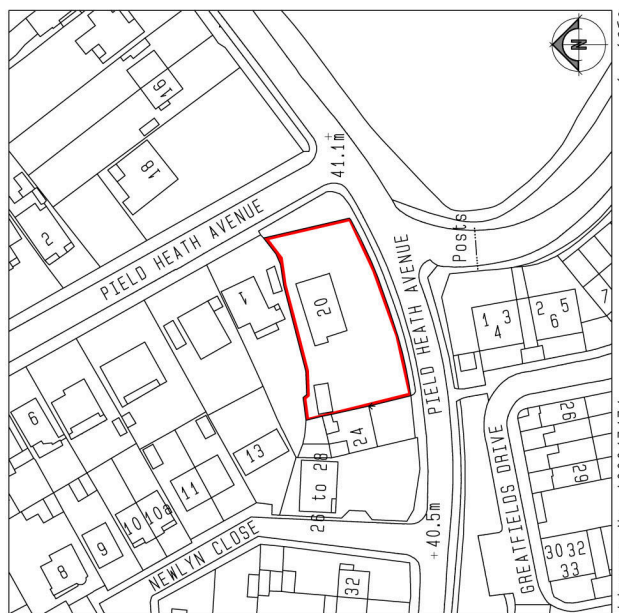
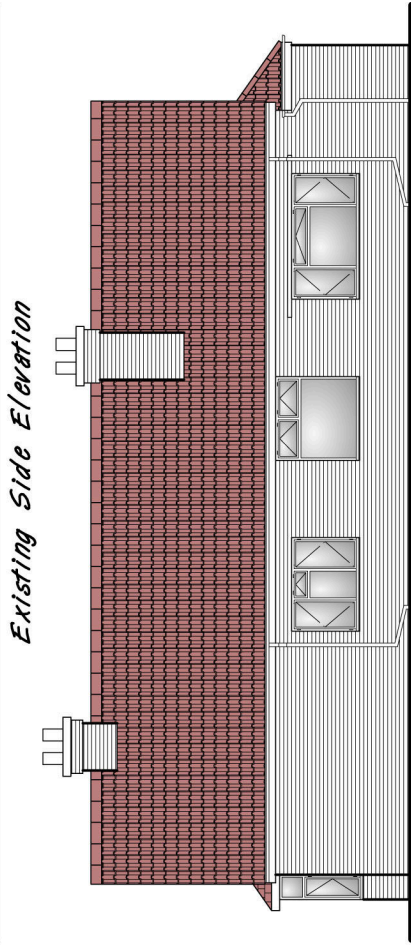
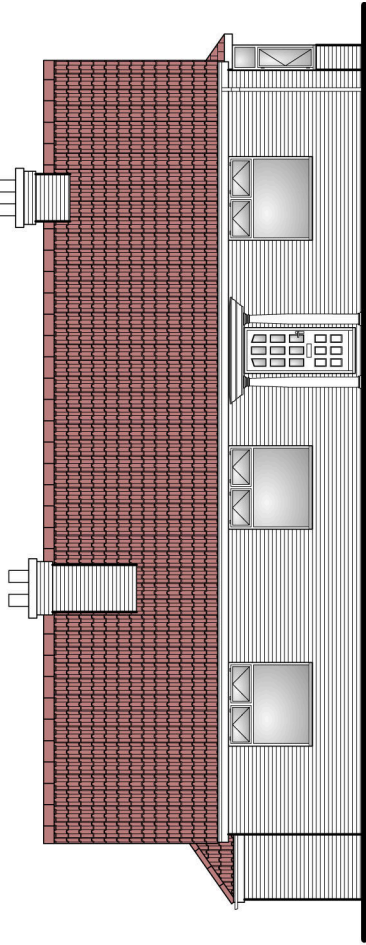
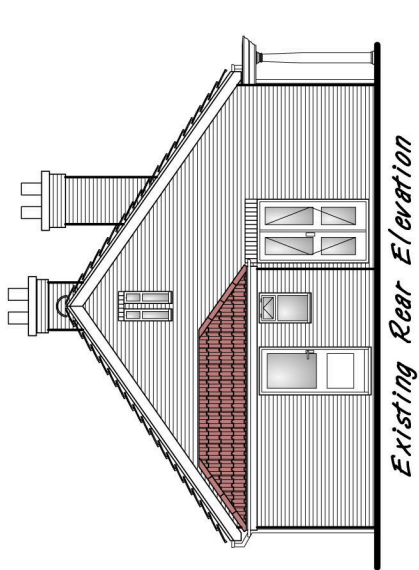
AG BUILDING SERVICES
 Architectural Designers
 & Surveyors
 Uxbridge (01895) 811177

DRAWN:	SCALE:	DATE:
DAF	1 : 100 @ A3	October '10
DRAWING NO:		REV:
10/293/03		B

SITE: 20 Pield Heath Road,
 Hillingdon,
 Middx. UB8 3NG

Proposed Change of Use.

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AG BUILDING SERVICES
Architectural Designers
& Surveyors
Uxbridge (01895) 811177

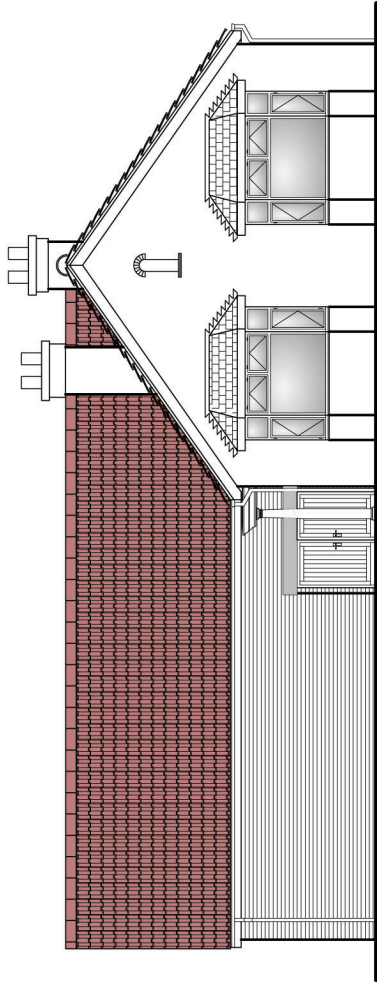
DRAWN: DAF
SCALE: 1 : 100 @ A3
DRAWING NO: 10/293/02

DATE: July '10
REV:

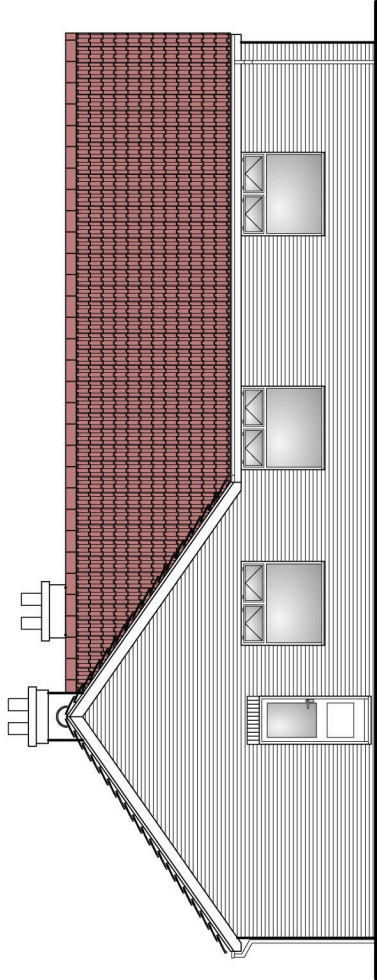
SITE: 20 Pield Heath Road,
Hillingdon,
Middx. UB8 3NG

Proposed Change of Use.

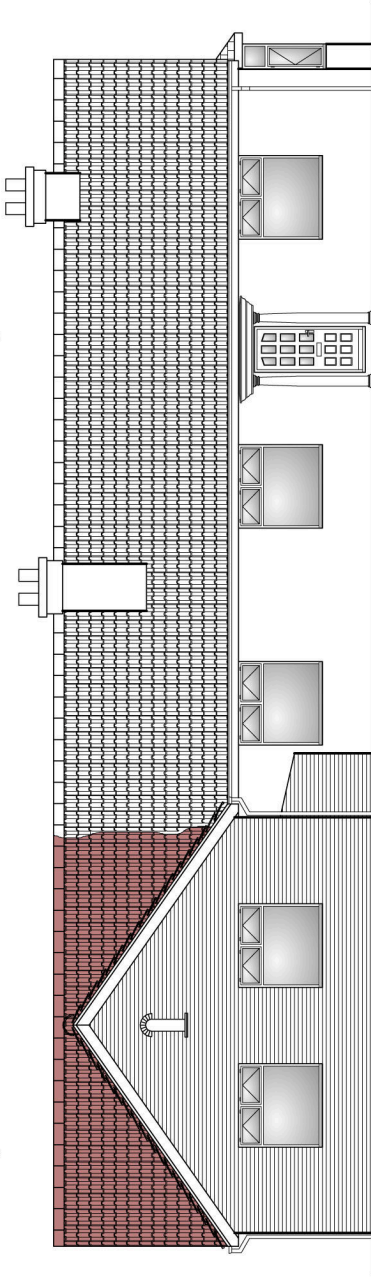
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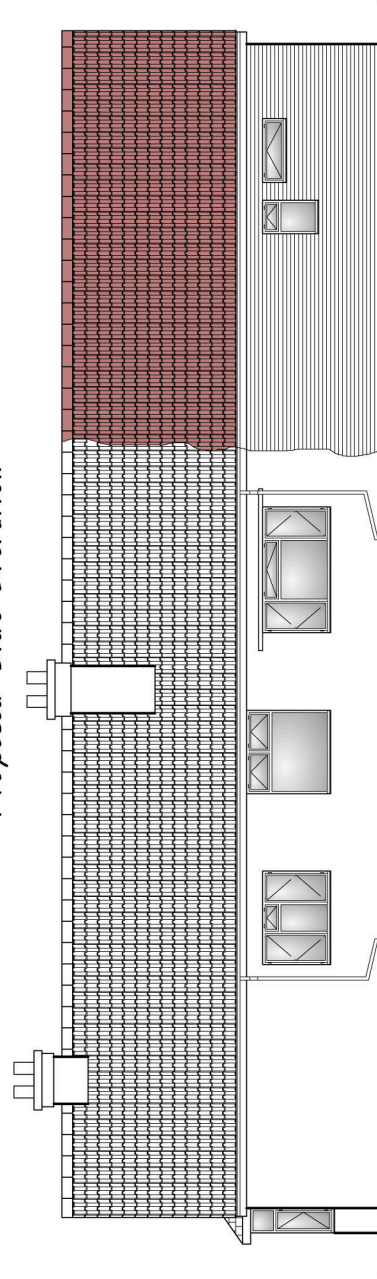
Proposed Front Elevation



Proposed Rear Elevation



Proposed Side Elevation



Proposed Side Elevation



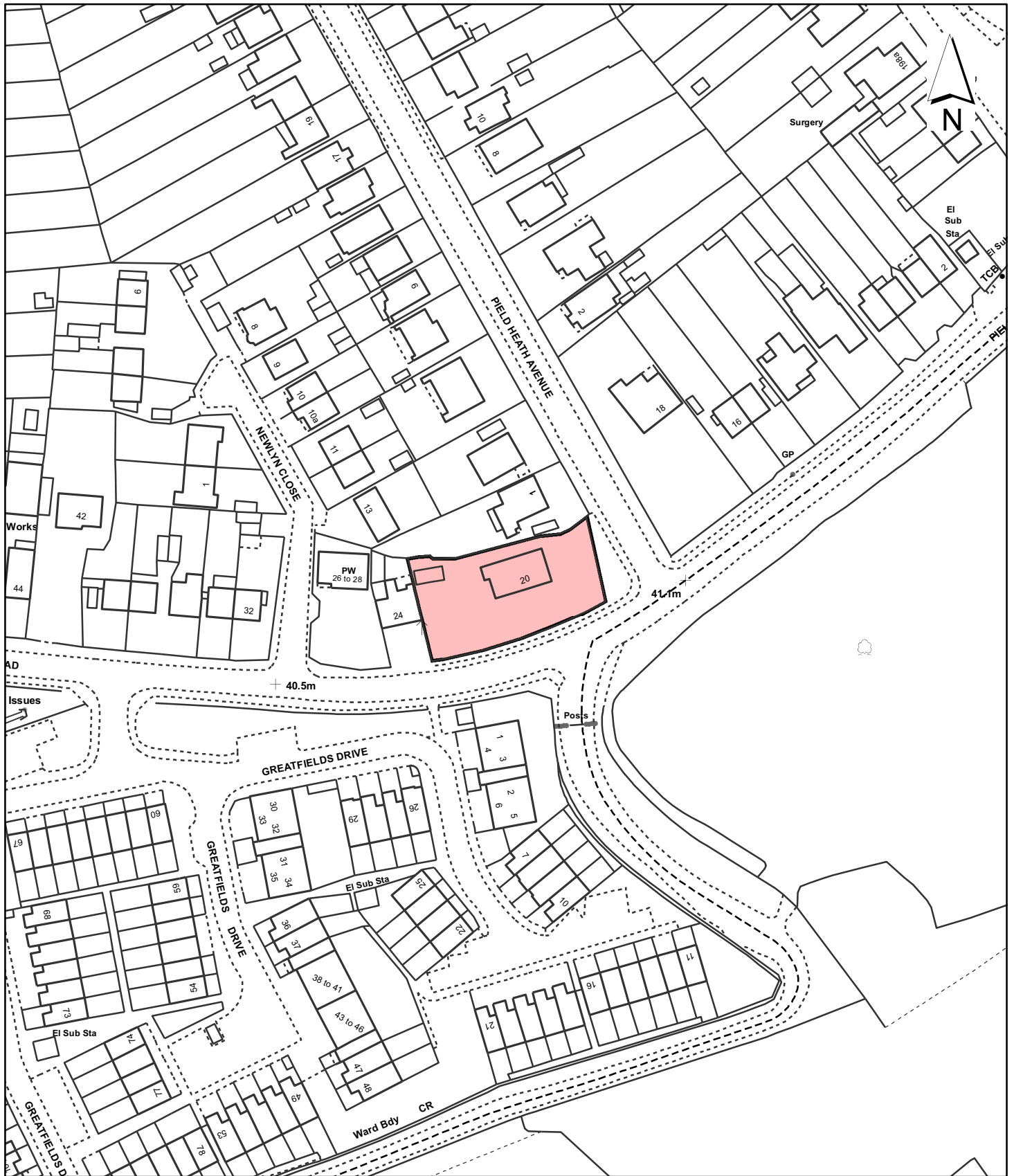
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Proposed Change of Use.

SITE: 20 Pield Heath Road,
Hillingdon,
Middx. UB8 3NG

AG BUILDING SERVICES
Architectural Designers
& Surveyors
Uxbridge (01895) 811177

DRAWN:	SCALE:	DATE:
DAF	1 : 100 @ A3	July '10
DRAWING NO:		REV:
10/293/04		A



Notes

 Site boundary

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Site Address

**20 Field Heath Road
Hillingdon**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

21661/APP/2010/1716

Scale

1:1,250

Planning Committee

Central and South

Date

**January
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address 103 PARK ROAD UXBRIDGE

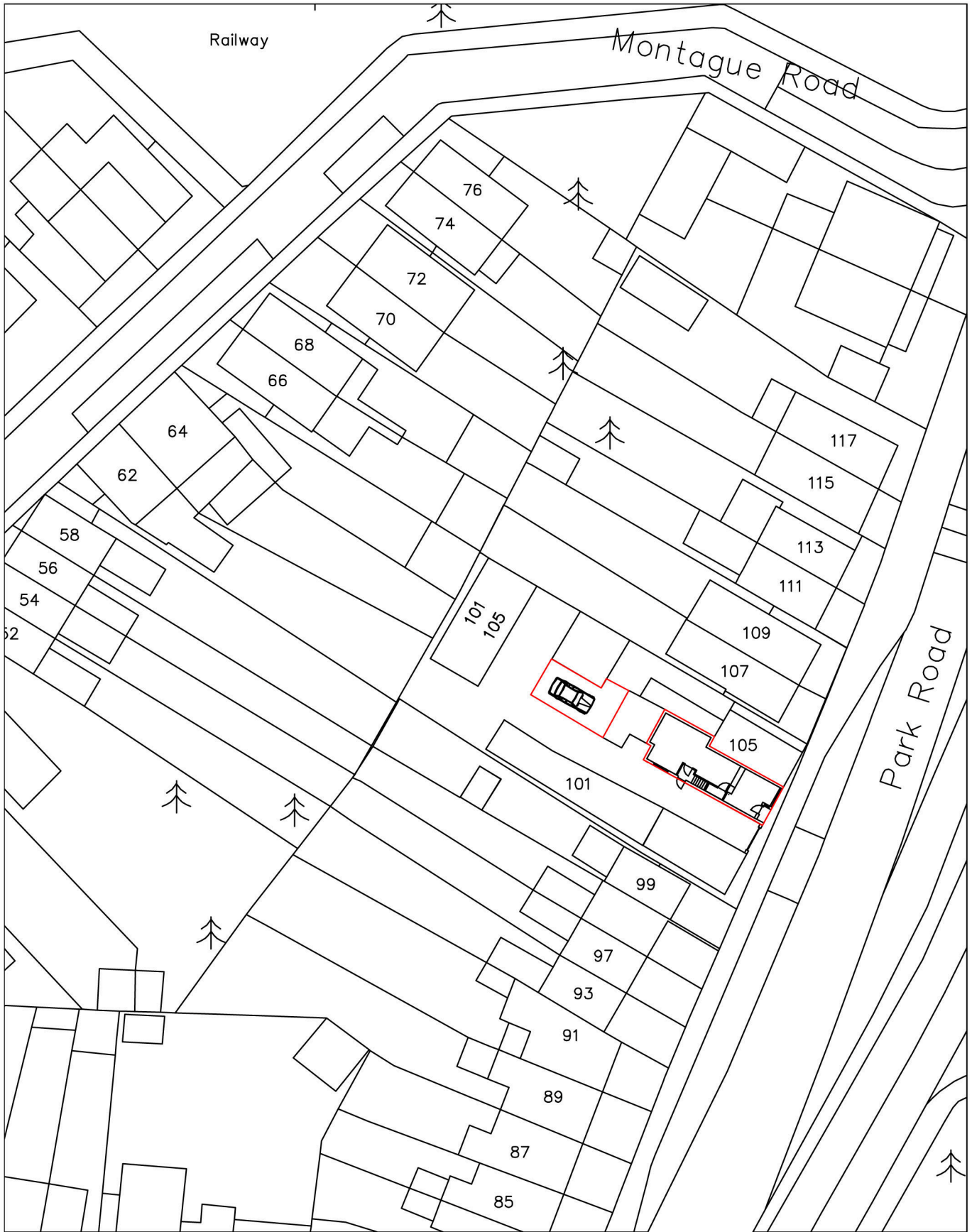
Development: Change of use from Class A1 (Shops) to Class A5 (Hot food takeaway) and installation of extraction flue to rear.

LBH Ref Nos: 32648/APP/2010/1408

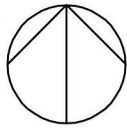
Date Plans Received: 16/06/2010 **Date(s) of Amendment(s):** 16/06/2010

Date Application Valid: 09/07/2010 09/07/2010

28/10/2010



Block Plan 1: 500 103 Park Road, Uxbridge.



General Note:

- Planning notes:
 1: new sound proofed ceiling to class
 'O' service spread of flame
 2: Floods over cooker range, ducting/
 vent to external air by specialist
 installer to comply with current
 health and safety legislation
 3: proposed sound proofing
 range to be via other control system
 to meet environment control officer
 requirements.
 4: All ducting to be noise and
 vibration resistant and the flue to
 be min 1m above roof level or
 other acceptable system.

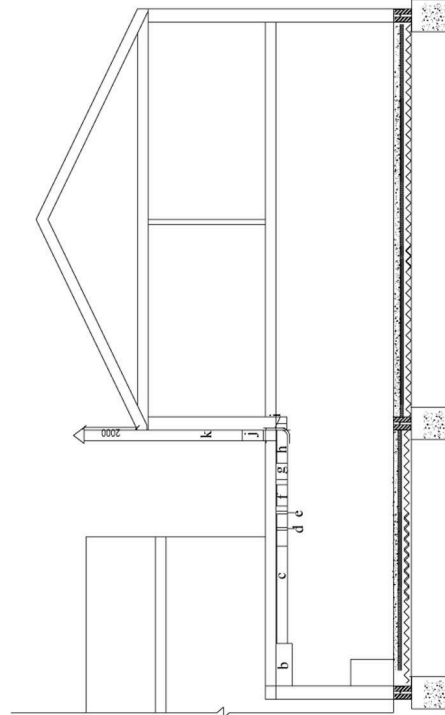
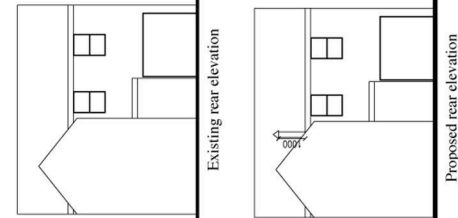
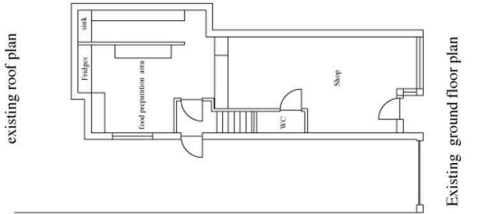
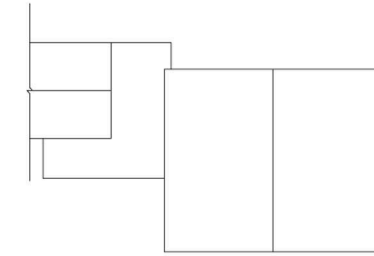
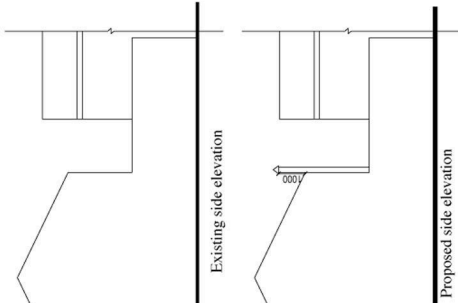
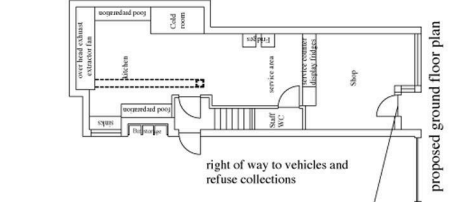
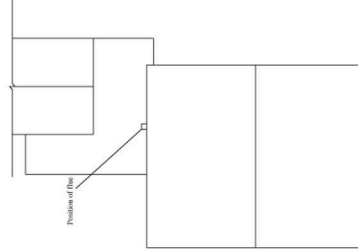
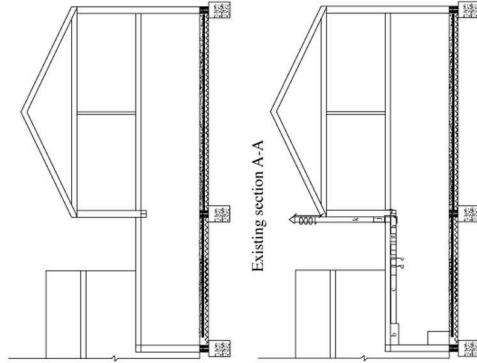
No.	Revision/Issue	Date

Designed By K Designs
 07740873066

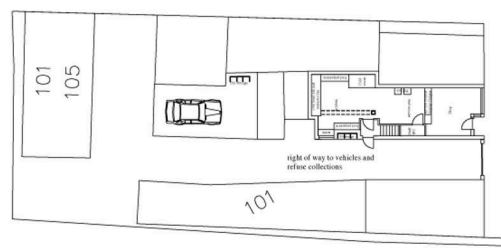
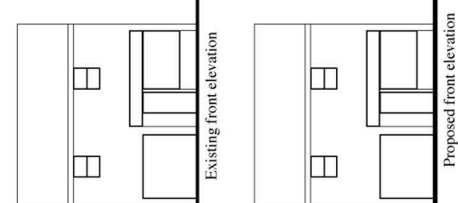
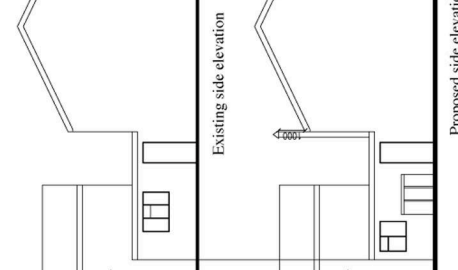
Title: Proposed change of use
 From A1 to A3 take away
 with proposed flue.

at
 103 Park Road
 UXBRIDGE
 UB8 1NW

Date: 25/10/10
 Scale: 1:100 1:200
 Dwg no. 776/bat/2




- key to section:
- a: cooking area
 - b: cooker hood
 - c: fine pre-filter
 - d: fine pre-filter
 - e: activated carbon filter
 - f: fan/motor unit
 - g: lagging
 - h: anti vibration mounting
 - i: noise attenuator
 - j: noise attenuator
 - k: exhaust flue/stack





Notes

 Site boundary

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Site Address	
103 Park Road Uxbridge	
Planning Application Ref:	Scale
32648/APP/2010/1408	1:1,250
Planning Committee	Date
Central and South	December 2010

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address GRASS VERGE REAR OF 109 AND 111 SWEETCROFT LANE HERCIES ROAD (CLOSE TO BUS STOP) HILLINGDON

Development: Installation of 12.5m high imitation telegraph pole mobile phone mast and ancillary equipment cabinet (Consultation under Schedule 2, Part 24 of the Town and Country Planning (General Permitted Development) Order 1995).

LBH Ref Nos: 67517/APP/2010/2930

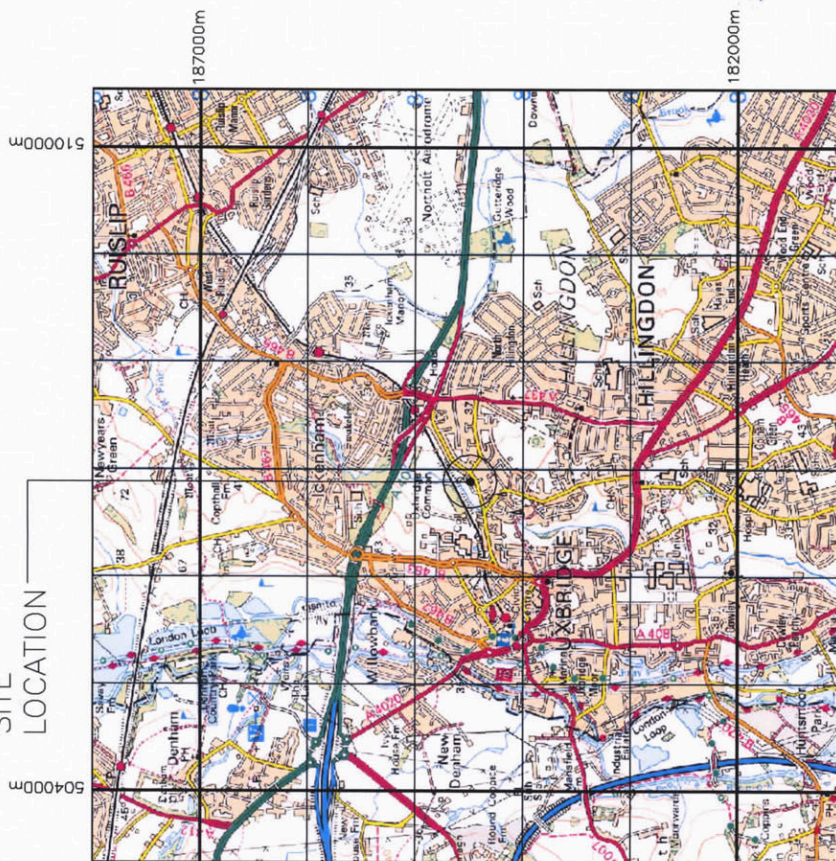
Date Plans Received: 14/12/2010

Date(s) of Amendment(s):

Date Application Valid: 14/12/2010



SITE LOCATION



SITE GRID REFERENCE 506921E 184478N
SCALE 1:50000



SITE PHOTOGRAPH

SITE LOCATION



SITE GRID REFERENCE 506921E 184478N
SCALE 1:1250

NOTES:

1. SITE ACCESS: FROM THE UXBRIDGE ROAD A4020 HEADING NORTH TURN RIGHT ONTO LONG LANE A437, AFTER 2KM TURN LEFT ONTO COURT DRIVE, AT THE T JUNCTION AT THE END TURN RIGHT ONTO VINE LANE. AT THE END OF THE ROAD TURN RIGHT ONTO HERCIES ROAD, THE SITE IS ON THE LHS ABOUT 500M AHEAD.
2. SURROUNDING AREA IS RESIDENTIAL.
3. DISTANCE TO PUBLIC HIGHWAY IS 1.2m APPROX.

REPRODUCED FROM ORDANCE SURVEY WITH THE PERMISSION OF THE CONTROLLER OF HER MAJESTY'S STATIONARY OFFICE.
© CROWN COPYRIGHT. LICENCE NO. AL100034583

LOW BOARD DEVELOPMENT RECEIVED
17 DEC 2010
PLANNING & TRANSPORTATION GROUP

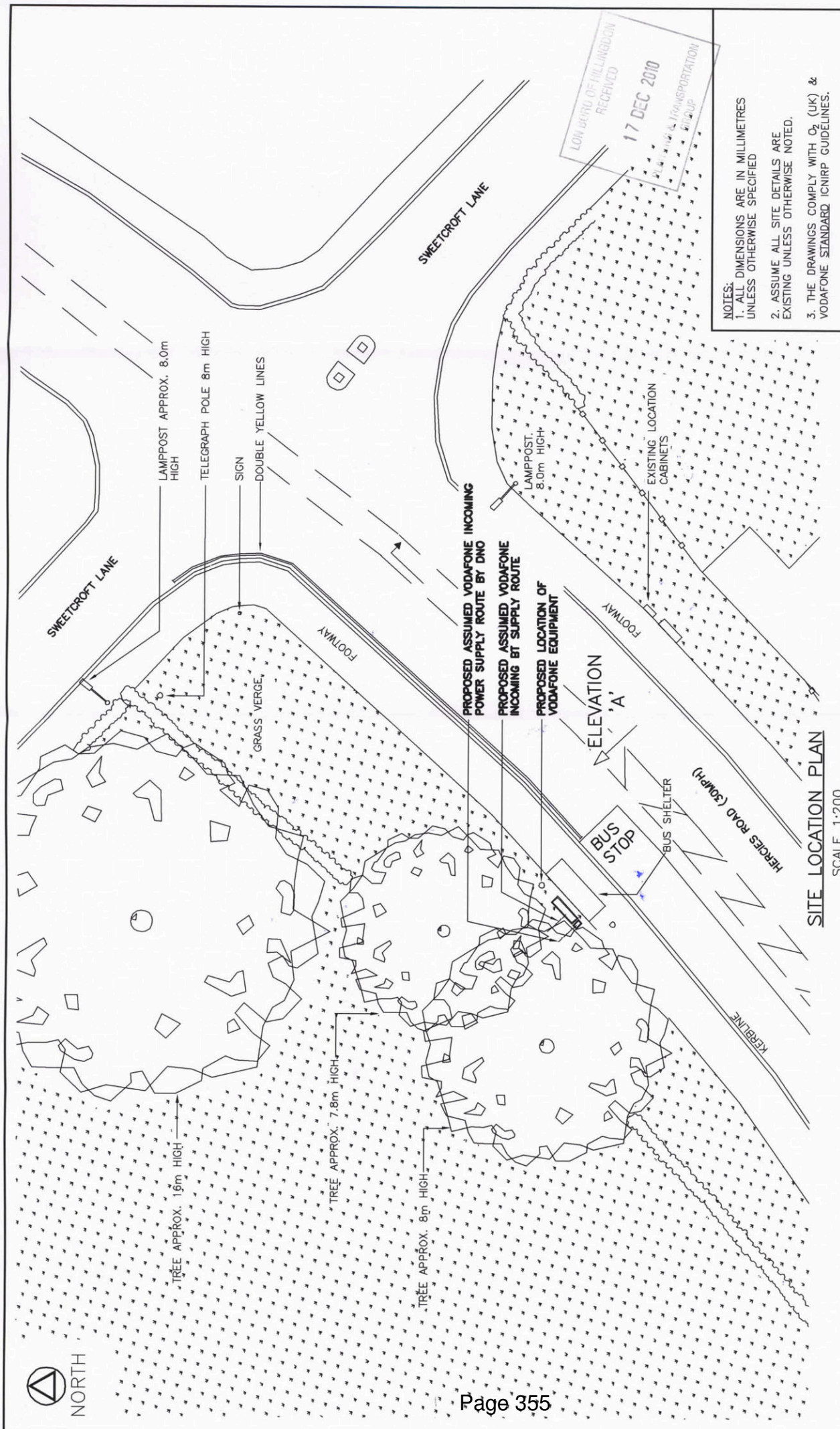
CELL NAME	OPTION	DRAWN	CHECKED	APPROVED	DATE	SCALE
HERCIES ROAD SW	A	VENY	SY	AKSESS	06.07.10	AS SHOWN
SITE ADDRESS		CORNERSTONE ID	HOST ID	SHARER ID		
HERCIES ROAD		CS - 10378	VF - 76297			
UXBRIDGE		CONSULTANT REF No.				
MIDDLESEX		1293/039				
UB10 9LQ		PURPOSE OF ISSUE				
DRAWING TITLE		PLANNING				
SITE LOCATION MAPS		DRAWING No.			REVISION	
		100			-	

Tyco Electronics
Tyco Electronics UK Infrastructure Ltd.
Holly House,
Holly Road,
Chorley, Surrey
KT16 9DT
Telephone 01888 575 900 Fax 01882 575 901



CORNERSTONE PROJECT

REV.	DATE	REMARKS	BY	CHK.



LOU WARD OF MILLINGTON
RECEIVED
17 DEC 2010
PUBLIC WORKS & TRANSPORTATION
WILKIN

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED
2. ASSUME ALL SITE DETAILS ARE EXISTING UNLESS OTHERWISE NOTED.
3. THE DRAWINGS COMPLY WITH O₂ (UK) & VODAFONE STANDARD ICNIRP GUIDELINES.

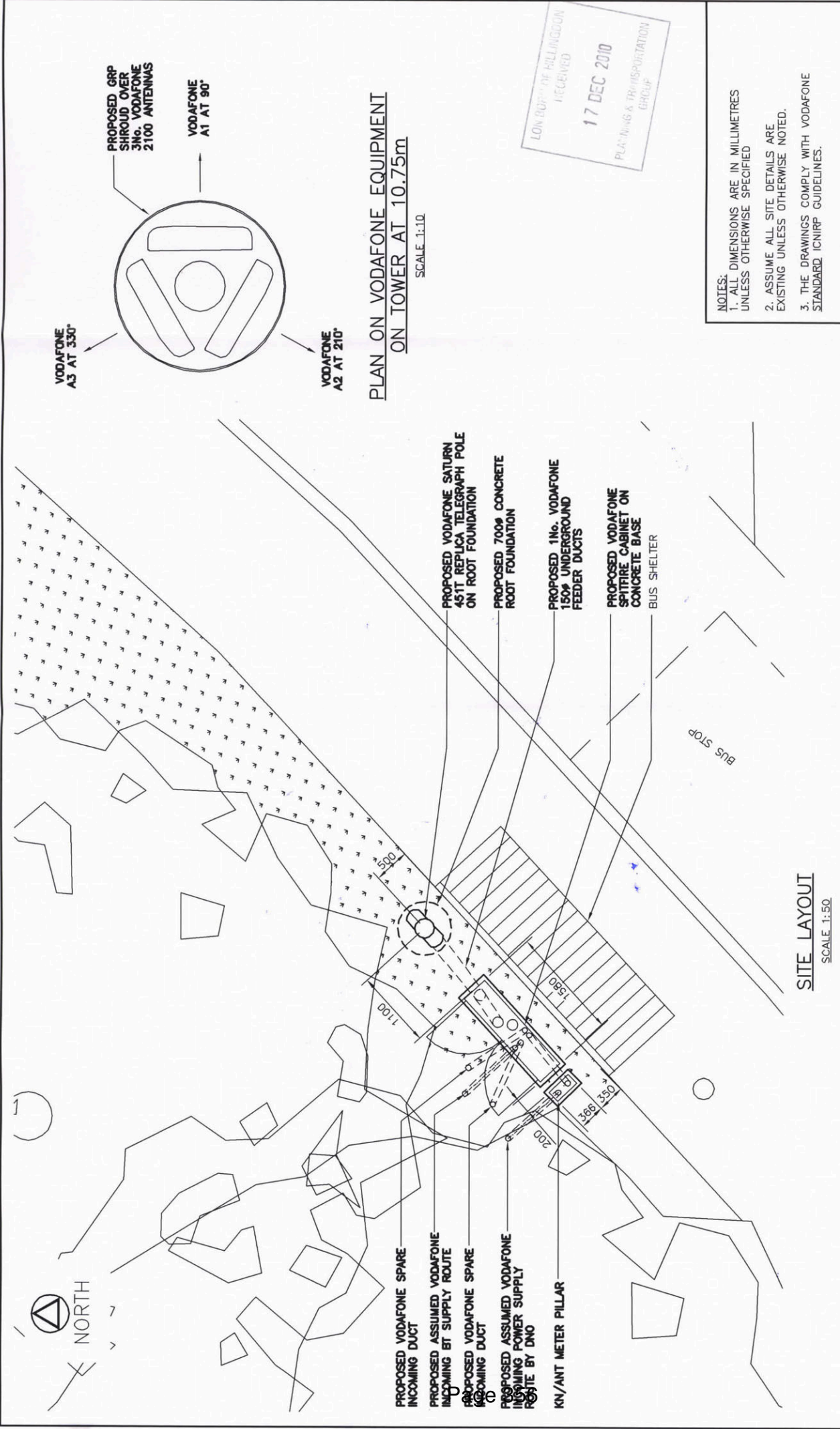
DRAWN	CHECKED	APPROVED	DATE	SCALE
VENY	SY	AKSESS	06.07.10	AS SHOWN
CORNERSTONE ID	HOST ID	VF - 76297	SHARER ID	-
CS - 10378				
CONSULTANT REF No.				
1293/039				
PURPOSE OF ISSUE	DRAWING No.	200	REVISION	-
PLANNING				

CELL NAME	OPTION
HERBIES ROAD SW	A
SITE ADDRESS	
HERBIES ROAD	
LYBRIDGE	
MIDDLESEX	
UB10 9LQ	
DRAWING TITLE	
PROPOSED SITE LOCATION PLAN	

Tyco Electronics
Tyco Electronics UK Infrastructure Ltd.
Hortel House
Hortel Road
Cherbury, Surrey
KT16 8DT
Telephone 01932 575 900 Fax 01932 575 901

O₂
CORNERSTONE PROJECT

REV.	DATE	REMARKS	BY	CHK.
A	14.12.10	LAMPPOST HEIGHTS CORRECTED	BJ	NDS



PLAN ON VODAFONE EQUIPMENT ON TOWER AT 10.75m
SCALE 1:10

LOW COPY OF REVISION RECEIVED
17 DEC 2010
PLANNING & TRANSPORTATION GROUP

- NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED
2. ASSUME ALL SITE DETAILS ARE EXISTING UNLESS OTHERWISE NOTED.
3. THE DRAWINGS COMPLY WITH VODAFONE STANDARD ICNRP GUIDELINES.

SITE LAYOUT
SCALE 1:50

DRAWN	CHECKED	APPROVED	DATE	SCALE
VENY	SY	AKSESS	06.07.10	AS SHOWN
CORNERSTONE ID	HOST ID	SHARER ID		
CS - 10378	VF - 76297	-		
CONSULTANT REF No.				
1293/039				
PURPOSE OF ISSUE		DRAWING No.	REVISION	
PLANNING		400	A	

CELL NAME	OPTION
HERCIES ROAD SW	A
SITE ADDRESS	
HERCIES ROAD	
LYBRIDGE	
MIDDLESEX	
UB10 9LQ	
DRAWING TITLE	
ANTENNA/EQUIPMENT LAYOUT	

Tyco Electronics
Tyco Electronics UK Infrastructure Ltd.
Herdon House
Herdon Road
Chorley, Surrey
KT16 9DT
Telephone 01932 575 800 Fax 01932 575 901

O2
CORNERSTONE PROJECT

REV.	DATE	REMARKS	BY	CHK.
A	03.12.10	POLE NOTATION AMENDED	DI	NDS

TREE APPROX. 16m AGL



TOP OF POLE
12.5m AGL



U/S OF VODAFONE
ANTENNAS
10.75m AGL



PROPOSED 3No. VODAFONE 2100
ANTENNAS WITHIN GRP SHROUD

PROPOSED VODAFONE SATURN 451T
REPLICA TELEGRAPH POLE ON ROOT
FOUNDATION

BUS SHELTER

BUS STOP SIGN
APPROX. 3m HIGH

TREES APPROX.
8m AGL



PROPOSED VODAFONE
SPITFIRE CABINET ON
CONCRETE BASE
PROPOSED VODAFONE
METER PILLAR ON ROOT
FOUNDATION

ELEVATION 'A'

SCALE 1:100

LOW BOARD OF HILLINGDON
RECEIVED
17 DEC 2010
PLANNING & TRANSPORTATION
GROUP

- NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED
 2. ASSUME ALL SITE DETAILS ARE EXISTING UNLESS OTHERWISE NOTED.
 3. THE DRAWINGS COMPLY WITH O₂ (UK) & VODAFONE STANDARD ICNIRP GUIDELINES.

DRAWN	CHECKED	APPROVED	DATE	SCALE
VENY	SY	AK/SESS	06.07.10	AS SHOWN
CORNERSTONE ID	HOST ID	SHARPER ID		
CS - 10378	VF - 76297	-		
CONSULTANT REF No.		-		
1293/039		-		
PURPOSE OF ISSUE	DRAWING No.	REVISION		A
PLANNING	300			

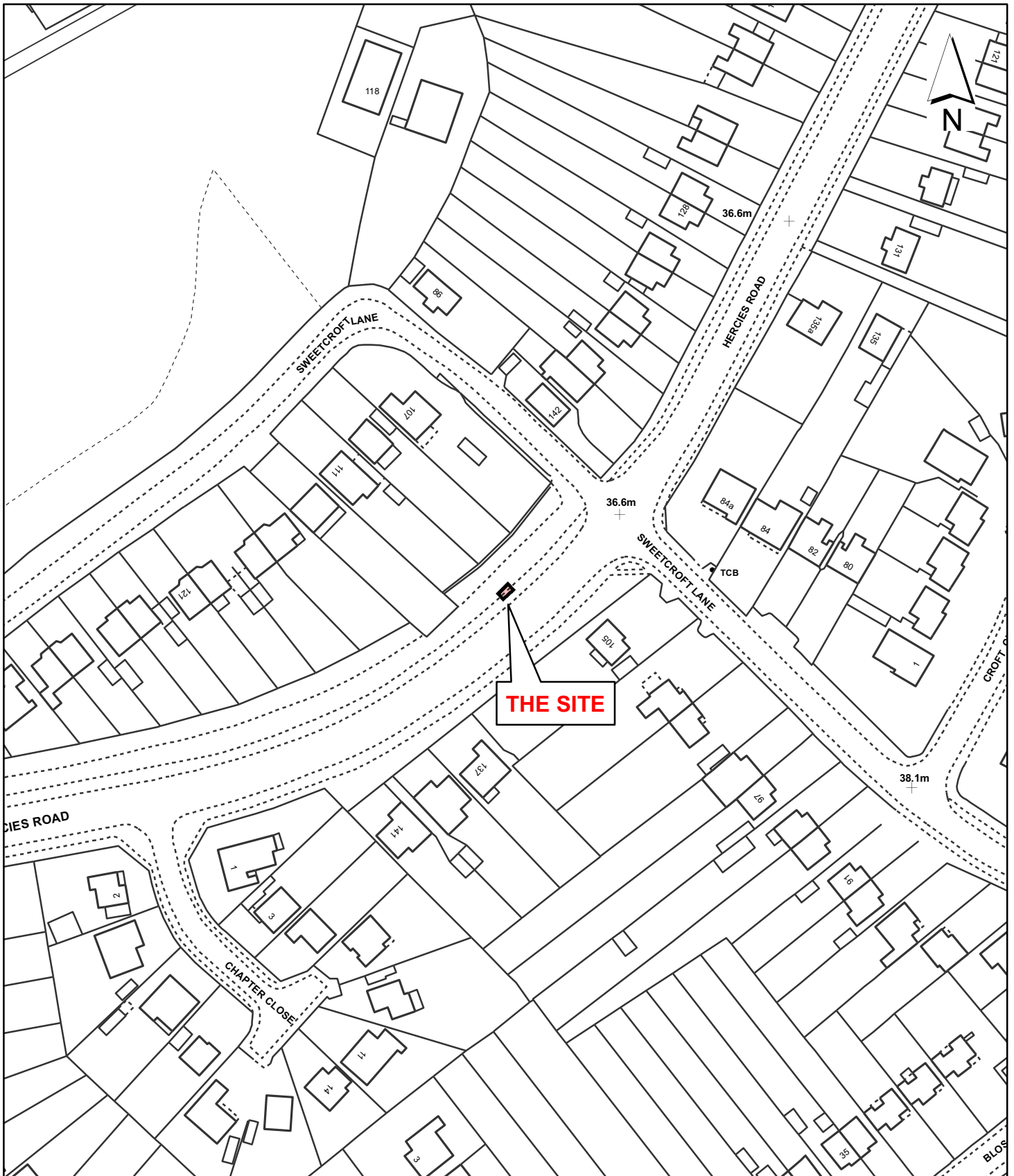
CELL NAME	OPTION
HERCIES ROAD SW	A
SITE ADDRESS	
HERCIES ROAD	
LYXBRIDGE	
MIDDLESEX	
UB10 9LQ	
DRAWING TITLE	
SITE ELEVATION	

Tyco Electronics
 Tyco Electronics UK Infrastructure Ltd.
 Herbit House
 Herbit Road
 Chichester, Surrey
 KT16 9DT
 Telephone 01982 375 800 Fax 01982 375 901



CORNERSTONE PROJECT

REV.	DATE	BY	CHK.	REMARKS
A	03.12.10	DI	NDS	POLE NOTATION AMENDED



THE SITE

Notes

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Site Address

**Grass verge rear of 109 and 111
Sweetcroft Lane, Hercies Road
(close to bus stop), Hillingdon**

Planning Application Ref:

67517/APP/2010/2930

Planning Committee

Central and South

Scale

1:1,250

Date

**January
2011**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address 1 DERBY ROAD UXBRIDGE MIDDLESEX

Development: Alterations and extension to existing roof to create habitable roofspace to include 2 gable end windows and 4 side rooflights.

LBH Ref Nos: 60777/APP/2010/2713

Date Plans Received: 24/11/2010

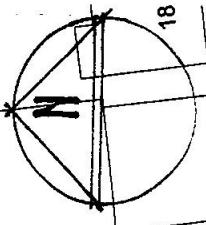
Date(s) of Amendment(s):

Date Application Valid: 24/11/2010



block plan

1:500



Peter Jenkins Associates Ltd.
ARCHITECTURAL DESIGN
 Uplands, 29 Wycombe Road, Prestwood,
 Great Missenden, Bucks. HP 16 0NZ. Tel: (01494) 862909

WALFORD ROAD

DERBY ROAD

31.4m

TCB

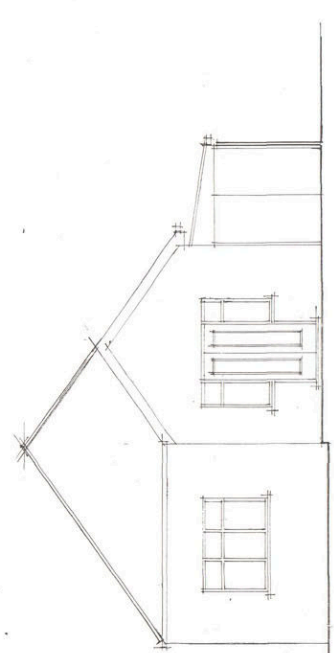
TON BORO. OF HILLINGDON
 RECEIVED
 24 NOV 2010
 PLANNING & TRANSPORTATION
 GROUP

LOCAL GOVERNMENT OF UOXBRIDGE
RECEIVED
24 NOV 2010
PLANNING & TRANSPORTATION
DEPT

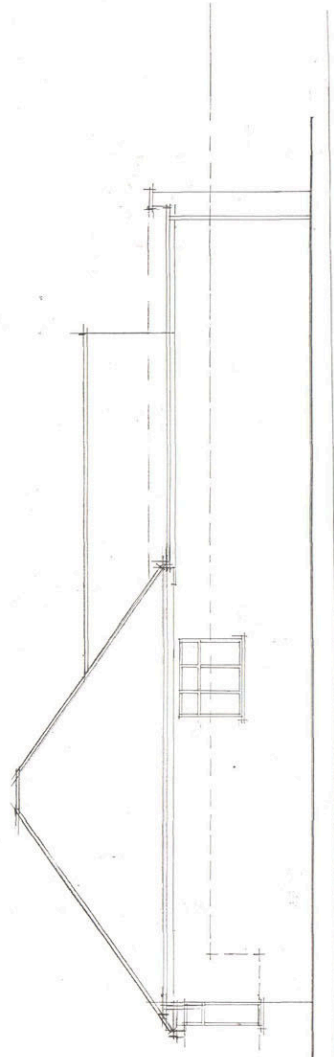
** Fee Information ONLY **

Drawing No: **H.08/01**
 Client: **MR & MRS K. W. CHAPPLE**
 Project: **no. 1 DERBY ROAD UYBRIDGE, MIDD.**
 Date: **nov. 2010**
 Scale: **1:50**
 Survey - as existing

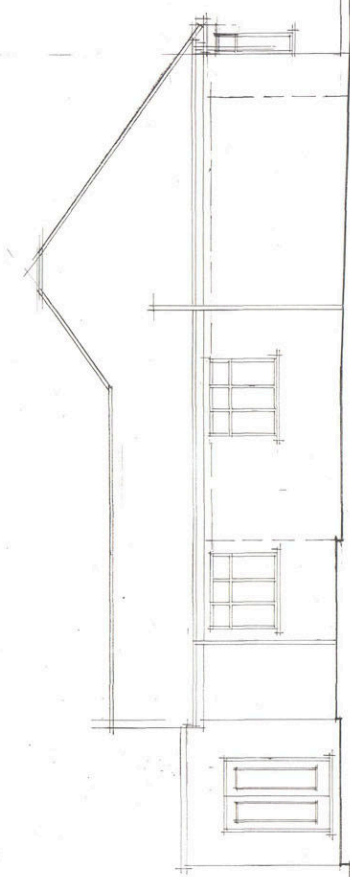
PJA
Peter Jenkins Associates Ltd.
ARCHITECTURAL DESIGN
 Uxbridge, 29 Wycombe Road, Praegerod,
 Great Missenden, Bucks, HP14 6SZ, Tel: 01754 682999



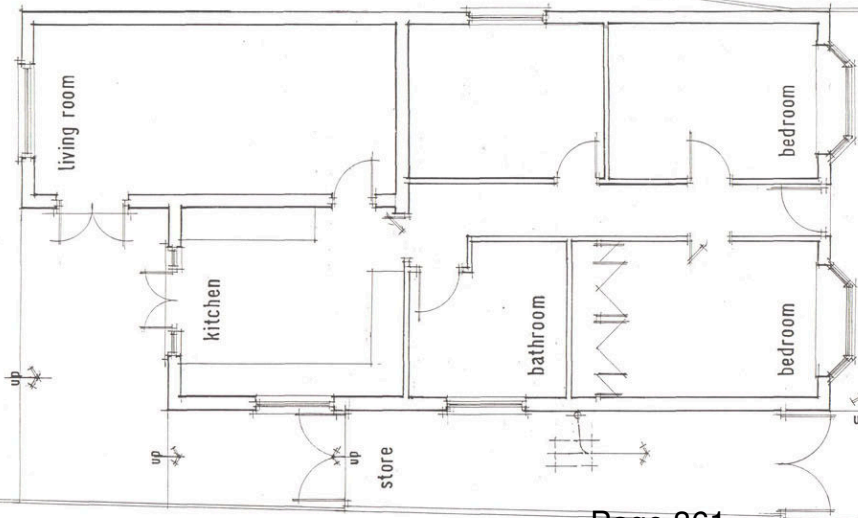
south elevation



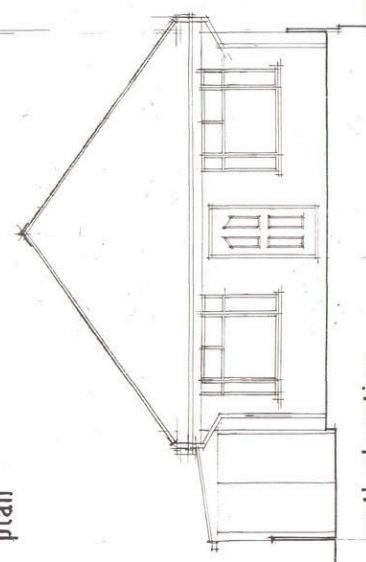
west elevation



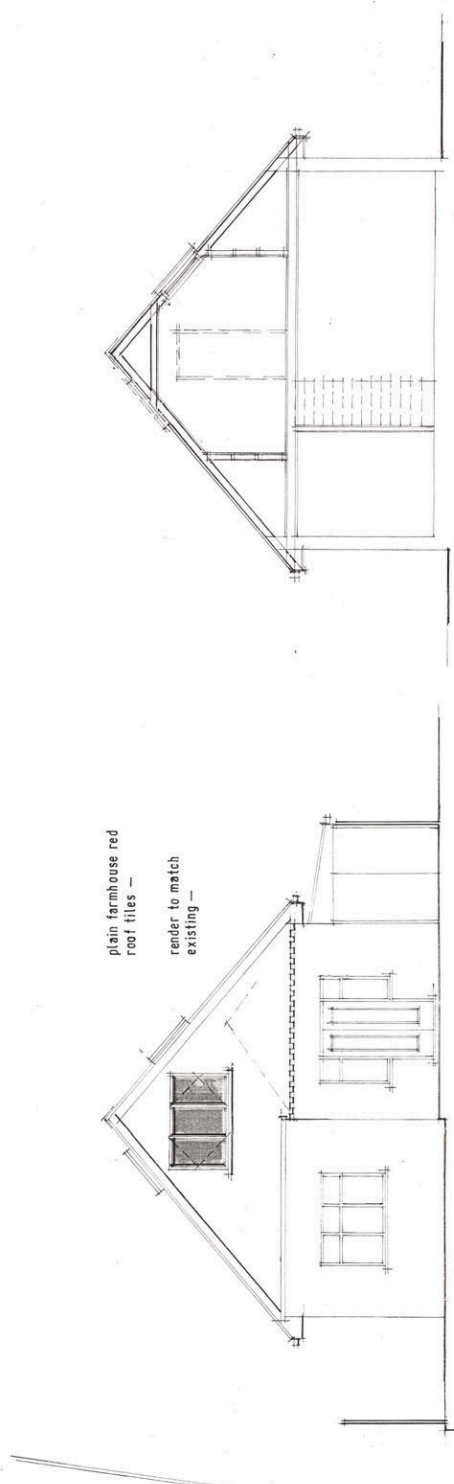
east elevation



ground floor plan

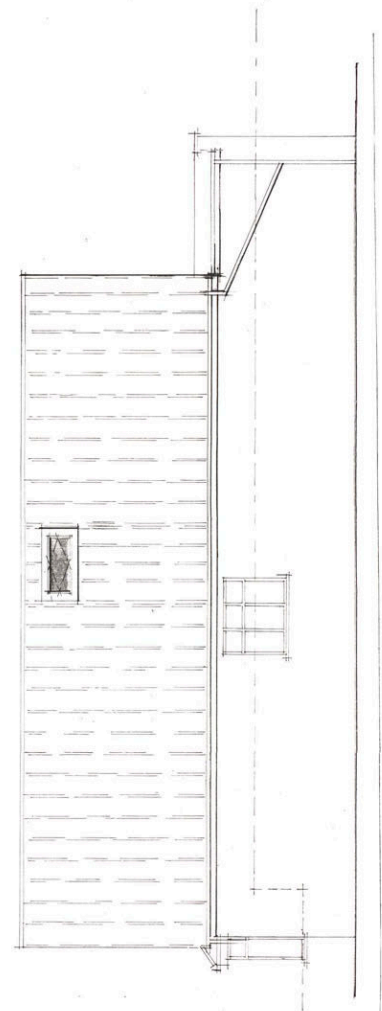


north elevation

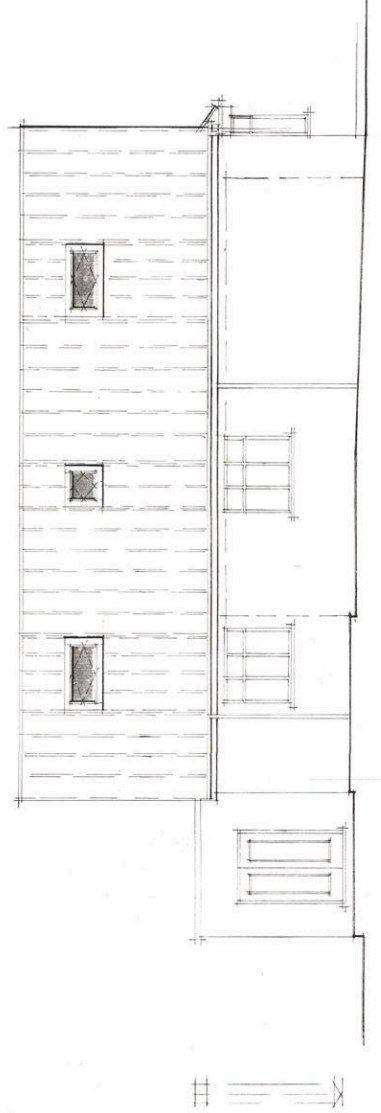


cross section

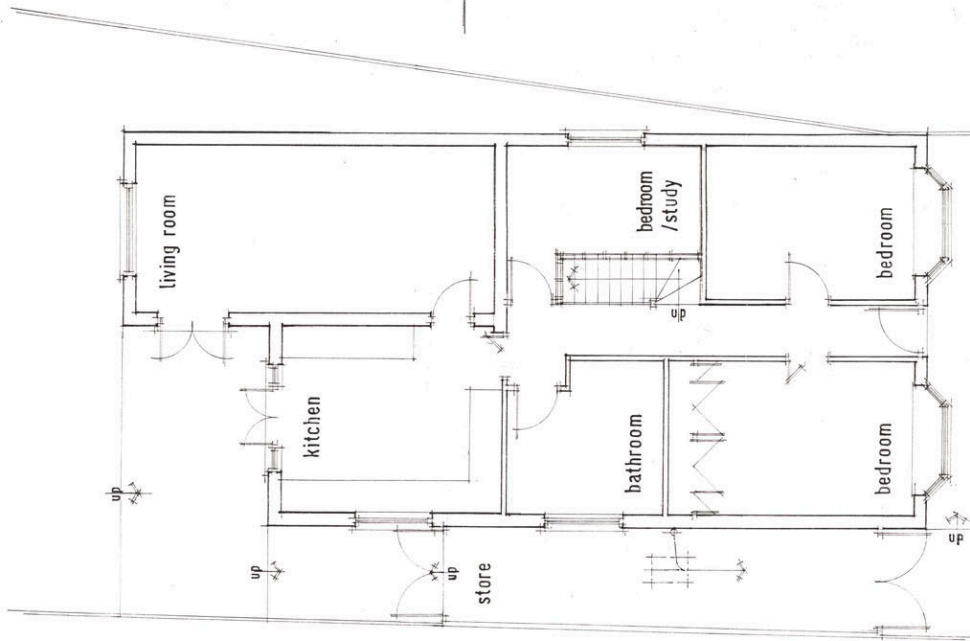
south elevation



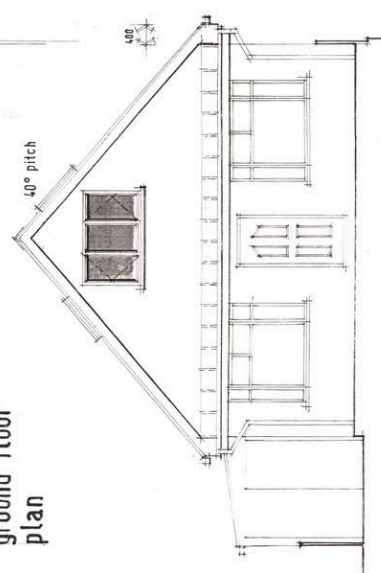
west elevation



east elevation



ground floor plan

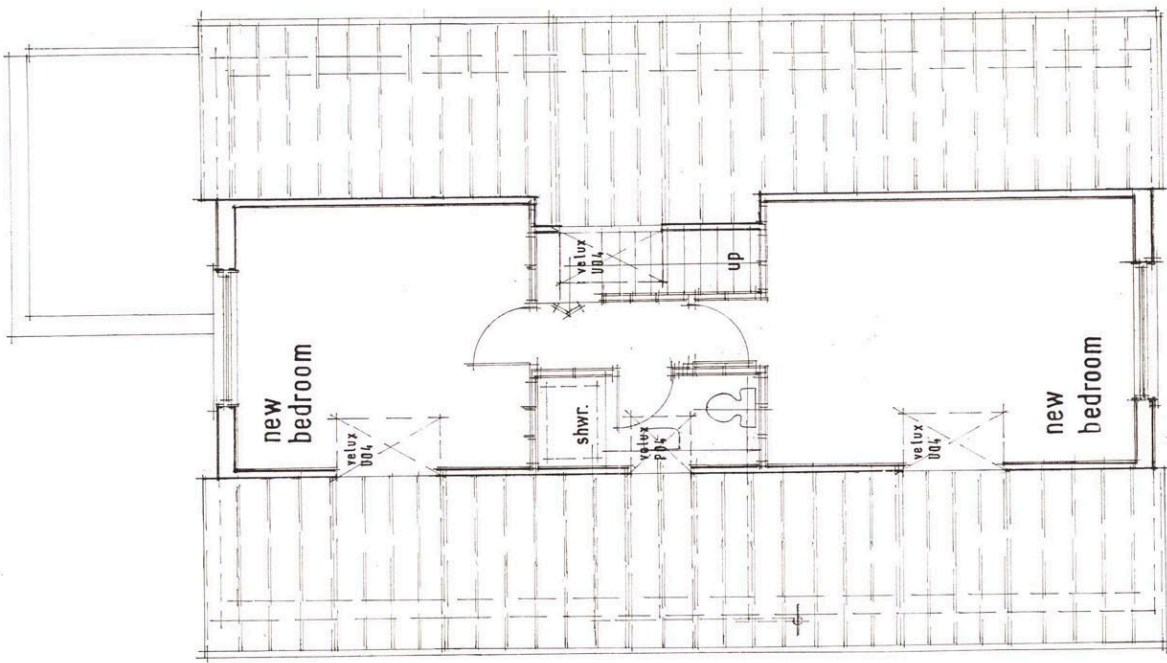


north elevation

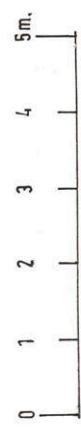
DESIGNED BY PALLADIUM
RELEASING
24 NOV 2010
PALLADIUM ASSOCIATES LTD



Drawing No: **H/08/02**
 Client: **MR & MRS K.W. CHAPPEL**
 Project: **no.1 DERBY ROAD UXBRIDGE, MIDDX.**
 Date: **nov. 2010**
 Scale: **1:50**
proposed alterations
 Peter Jenkins Associates Ltd
 ARCHITECTURAL DESIGN
 15th Floor, 29 Wyndham Road, Putney, London SW18 2NE, UK
 Tel: 01895 837899



first floor plan




LOW BOARD OF ALL REGION
 REGISTERED
 24 NOV 2010
 PLANNING & TRANSPORTATION
 GROUP

Drawing No: **H.08/03** Client: **MR & MRS K. W. CHAPPE**
 01895-233261
 Project: **no.1 DERBY ROAD**
UXBRIDGE, MIDDX.
proposed alterations
 Scale: **1:50** Date: **nov. 2010**

Peter Jenkins Associates Ltd.
 ARCHITECTURAL DESIGN
 Uplands, 29 Wycombe Road, Perrowood,
 Great Missenden, Bucks. HP16 0NZ. Tel: (01494) 86299



Notes

 Site boundary

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Site Address

**1 Derby Road
Uxbridge**

**LONDON BOROUGH
OF HILLINGDON**

**Planning, Environment
& Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:
60777/APP/2010/2713

Scale
1:1,250

Planning Committee
Central and South

Date
**January
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address TESCO STORES LTD GLENCOE ROAD HAYES

Development: Rear extension to bulk storage area.

LBH Ref Nos: 36999/APP/2010/2512

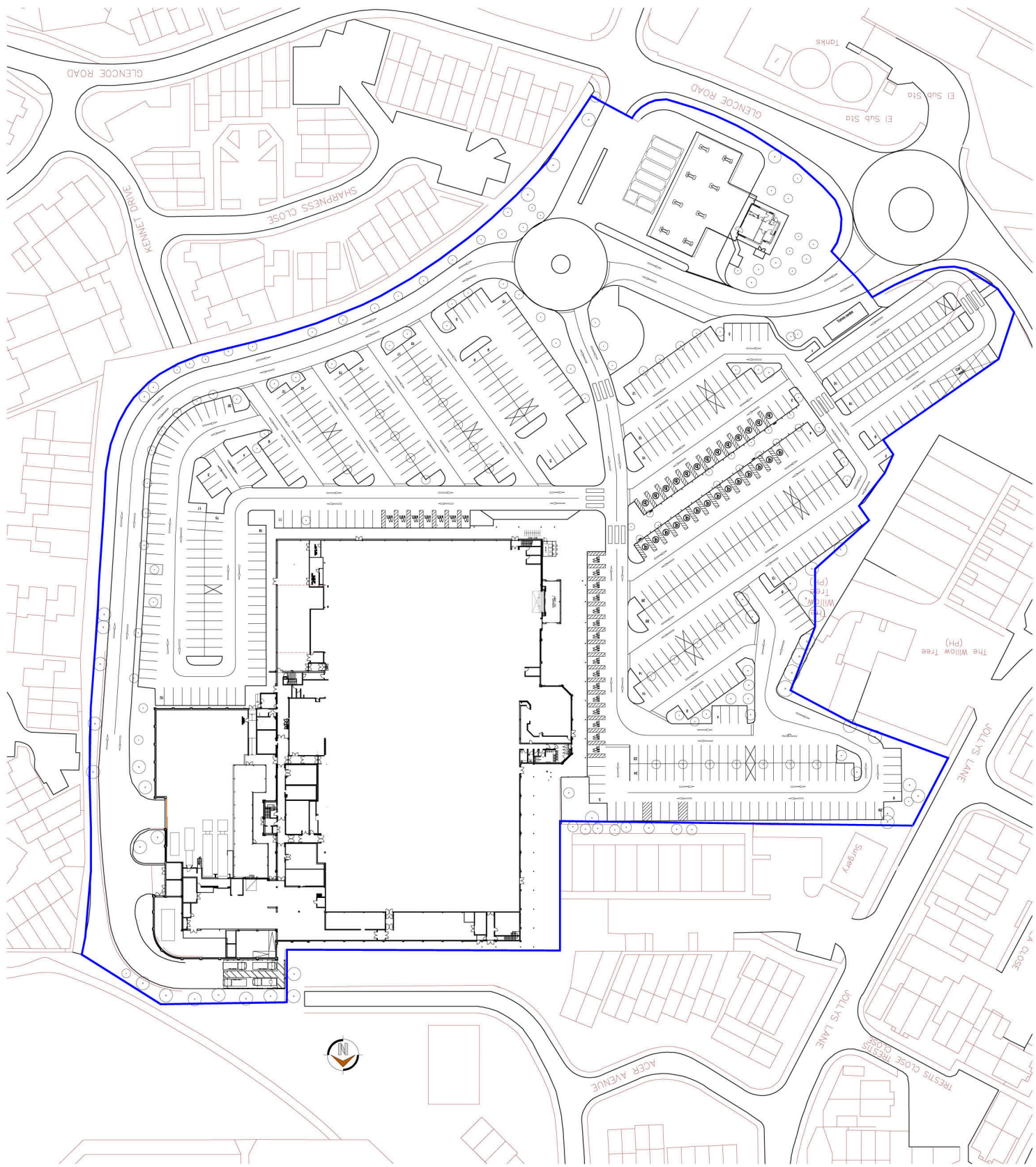
Date Plans Received: 27/10/2010

Date(s) of Amendment(s):

Date Application Valid: 27/10/2010

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Car Park Spaces	
Existing	-
Standard	- 538
Disabled	- 27
P&T	- 23
Total	- 588



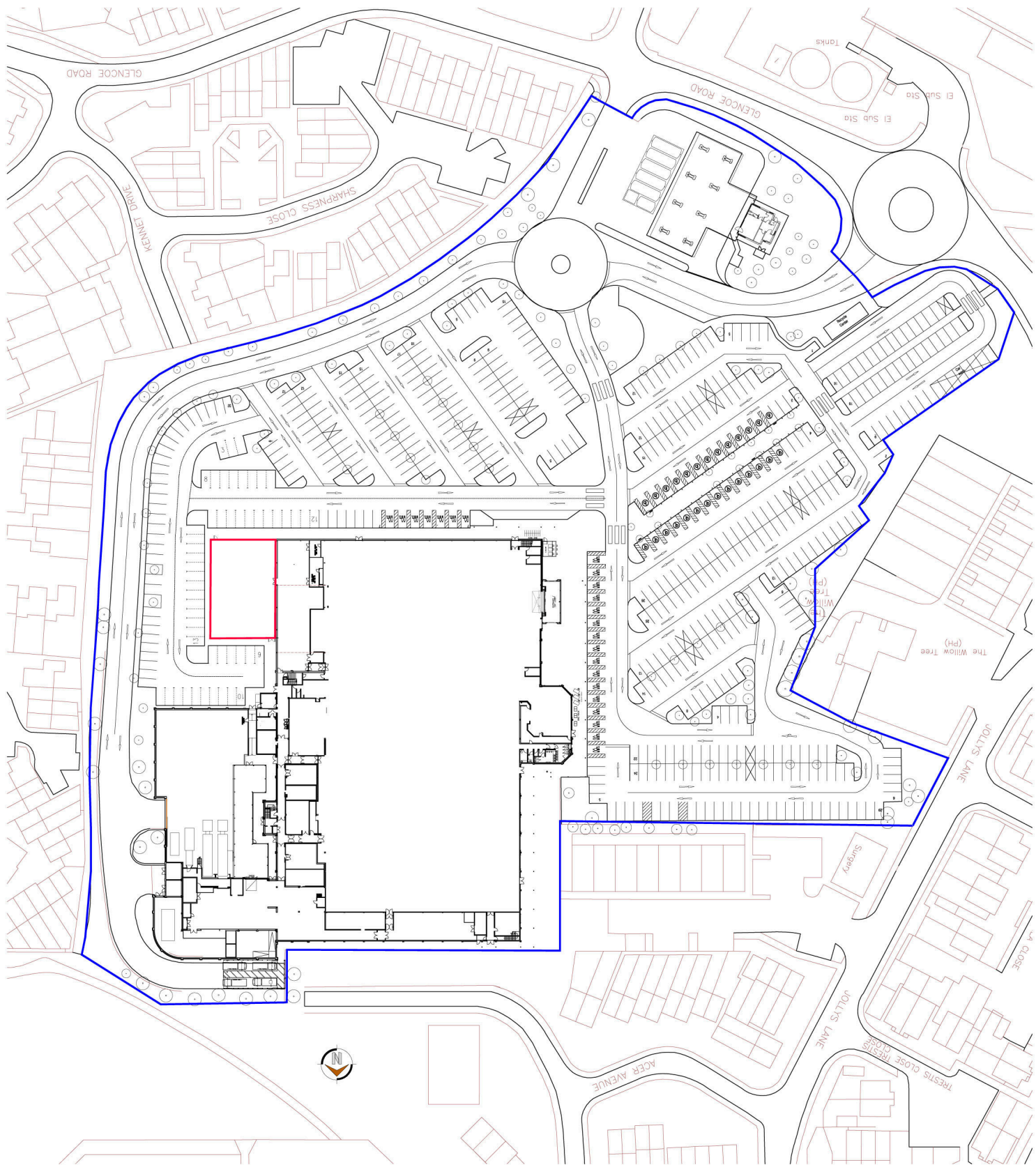
TESCO
 Client: Tesco Stores Ltd
 Project: Bulk Store Extension
 Drawing Title: Existing Site Plan
 Drawing No: 3470
 Date: 01.10.2012
 Scale: 1:200 @ A1
 Drawing Status: PLANNING

Drawing No: 3470 PL (60) 100
 Drawing Title: Existing Site Plan
TESCO architects group

hlnarchitects
 21/22 Water Court, Water Key, Colton, CP4 5J | Tel: 01202 308811 | Fax: 01202 308808
 email: admin@hlnarchitects.com | web: www.hlnarchitects.com
 RIBA # 01000000
 MIDLANDS
 CARDIFF
 Check printed scale before use and report any discrepancy to the architect.

Responsibility is not accepted for errors made by others where the user has not checked the drawings for accuracy. The user is advised to verify all dimensions and construction information to be taken from the drawings. If any errors are found, please report them immediately to the project architect.

Car Park Spaces		Proposed	
Existing		Standard	Disabile
	- 538	- 519	- 27
	- 27	- 23	- 23
	- 23		
Total	- 588	- 569	- 569



Client: **TESCO**

Project: **Tesco Store Ltd
Bulk Store Extension
Yeading**

Scale: **1:200 @ A1**

Date: **01.10.2010**

Drawing Title: **Proposed Site Plan**

Drawing No: **3470 PL (60) 200**

Scale: **1:200 @ A1**

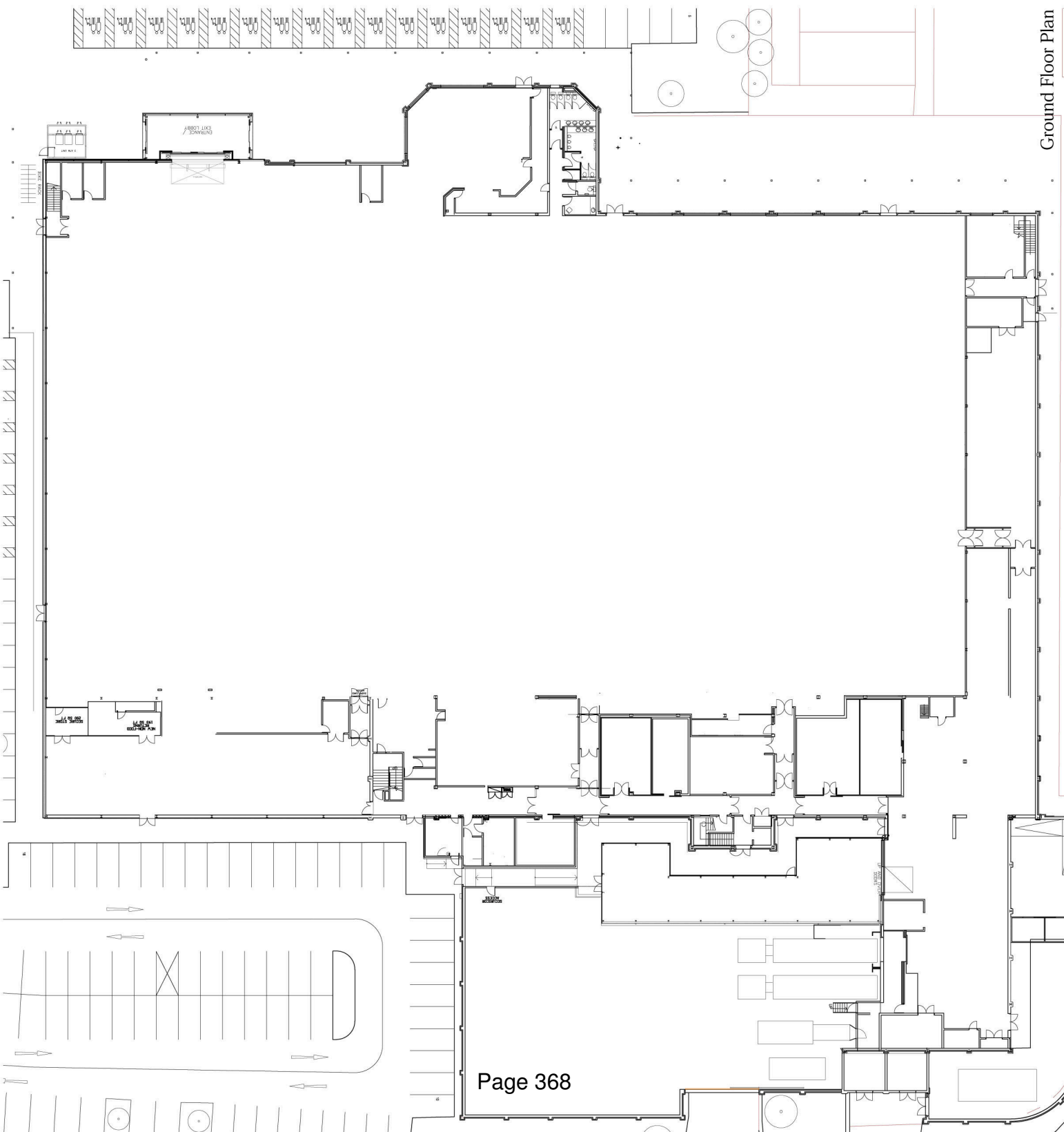
tesco architects group

hlnarchitects

21/22 Water Court, Watlington, Oxon, OX4 3JF. Tel: 01235 268111 Fax: 01235 268108
email: admin@hlnarchitects.com web: www.hlnarchitects.com

CARDIFF MIDLANDS RIBA # 2007

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Mezzanine Plan

Ground Floor Plan

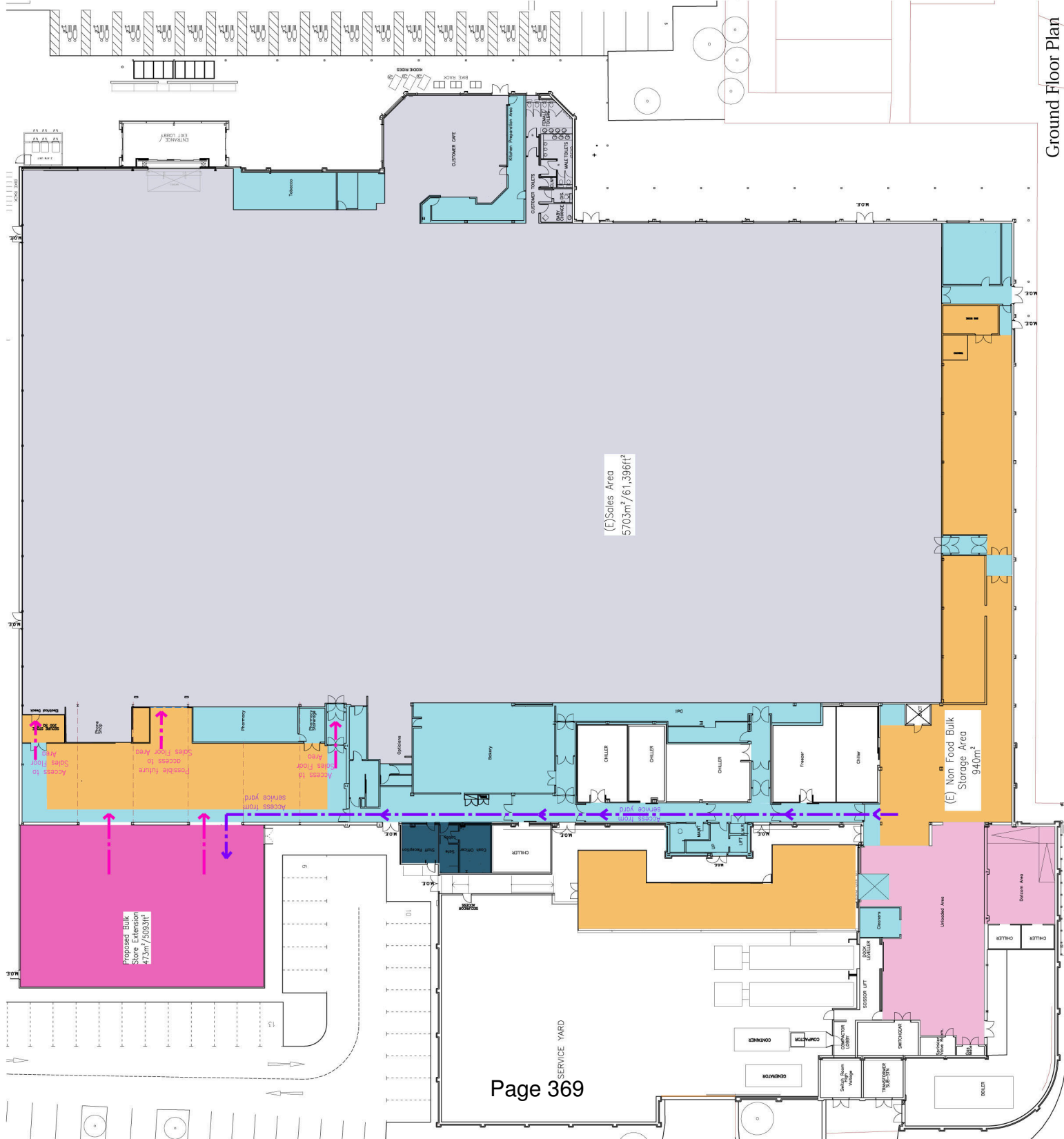
Client	TESCO	Project No.	3470
Architect	TESCO Store Ltd	Date	01.10.2010
Contract	Bulk Stone Extension	Scale	1:200 @ A1
Discipline	Yielding	Drawing Status	PLANNING
Project Name	Existing Ground Floor and Mezzanine Plan		

Ordering No. 3470 PL (20) 100

TESCO architects group

hln architects
 21/22 Water Court, Newark, Notts, S24 5JY. Tel: 01930 20811 Fax: 01930 20808
 email: admin@hlnarchitects.com web: www.hlnarchitects.com

CARDIFF MIDLANDS RIBA # 0100
 RIBA # 0100
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- (E) Sales Area (with Customer Toak)
- (E) Bulk Store Area
- Proposed Bulk Store Area
- (E) Staff Area
- (E) Delivery/Loading Area
- (E) Preparation Area/Circulation (Kiln, Bakery, Deli, Pharmacy, Plant Shop)

Key Plan

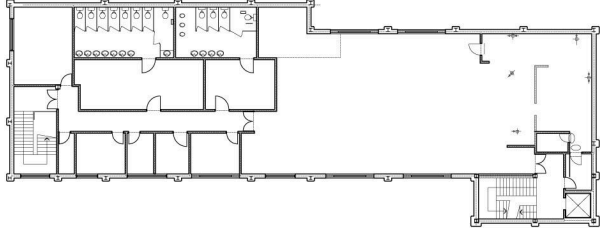
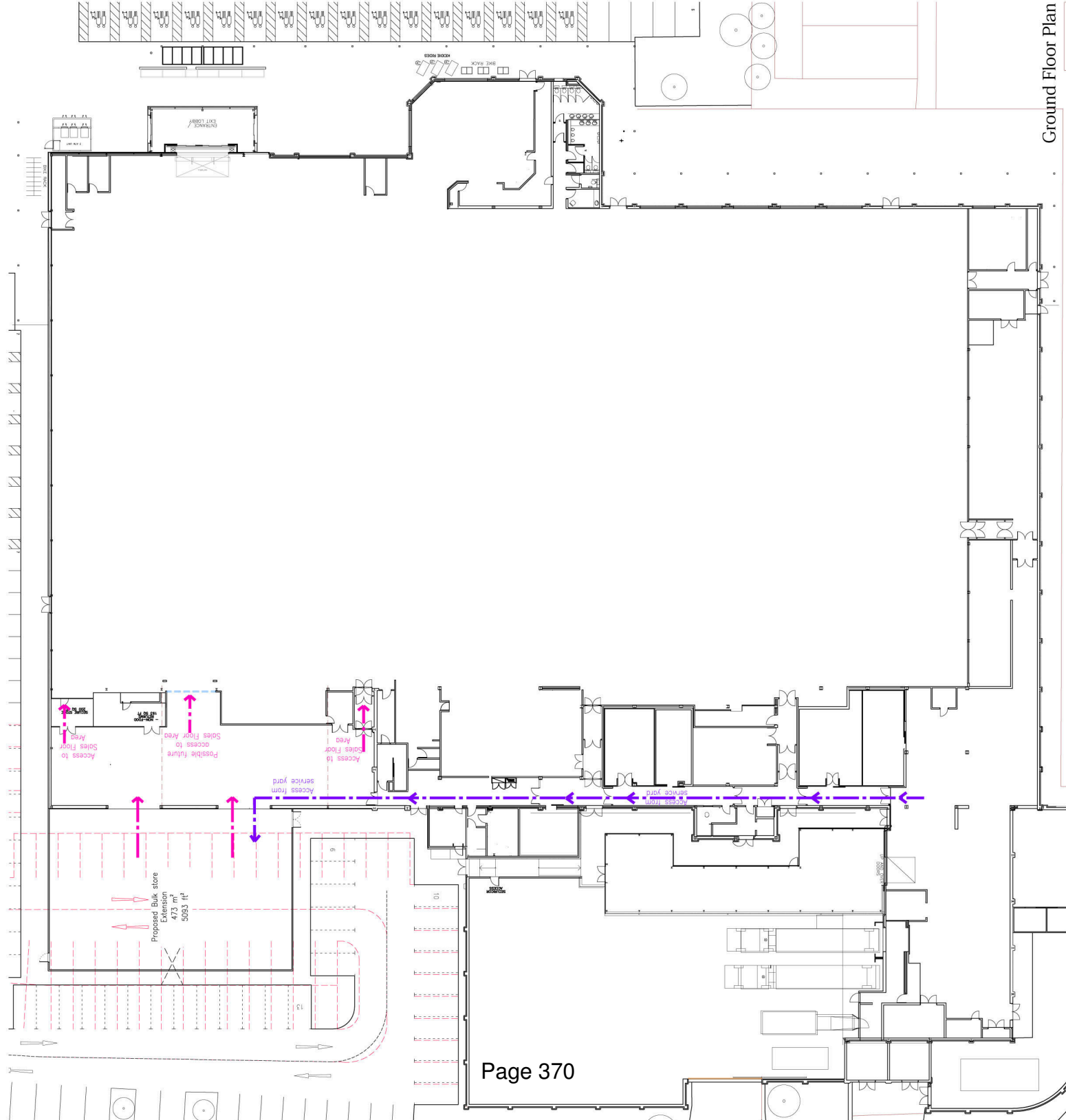


Mezzanine Plan

Client	TESCO	Project No.	3470
Project	Tesco Store Ltd Bulk Store Extension Yeading	Date	01.10.2010
Scale	1:200 @ A1	Drawn By	PLANNING
Checked By		Project Title	Proposed Ground Floor and Mezzanine Plan coloured layout
Drawn No.	3470 PL (20) 201	Drawn By	
Drawn No.	3470 PL (20) 201	Drawn By	

architects group

 21/22 Wakefield Street, Wakefield, West Yorkshire WF1 2JY. Tel: 01924 204111 Fax: 01924 204108
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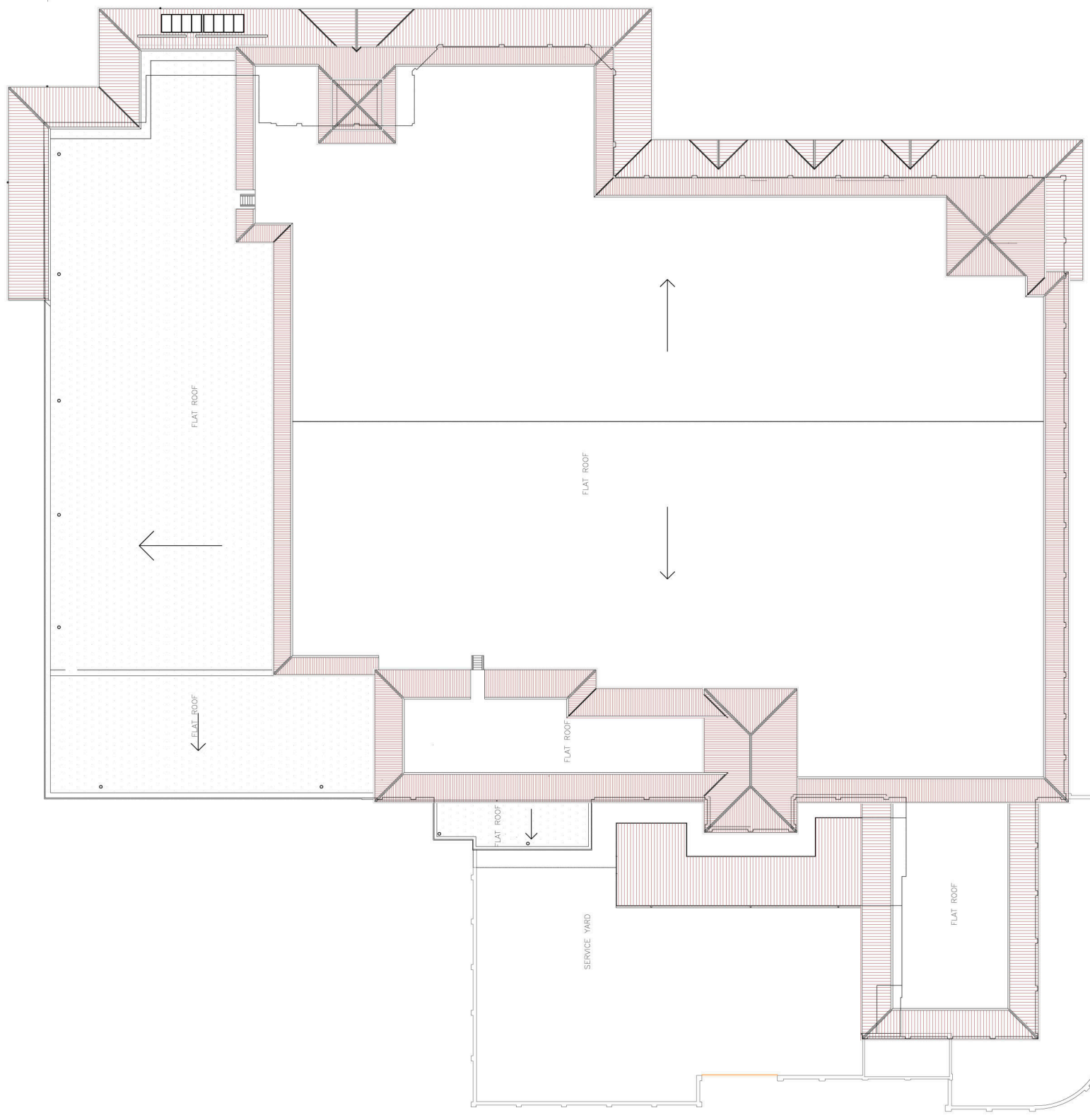
Mezzanine Plan

Ground Floor Plan

Project: Tesco Stores Ltd
 Bulk Store Extension
 Yeading
 Drawing Code: PLANNING
 Drawing Title: Proposed Ground Floor and Mezzanine Plan
 Drawing No: 3470
 Issue No: 13
 Date: 01.10.2010
 Scale: 1:200 @ A1
 Project No: 3470 PL (20) 200

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 email: hln@hlnarchitects.com
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 CARDIFF []

Drawing No: 3470 PL (20) 200
 Sheet: B



No.	Date	Issued	By	Revisions
TESCO				
Client: TESCO				
Project: Tesco Store Ltd				
Site: Bull Stone Extension				
Drawing Name: Existing Roof Plan				
Drawing No: 3470				
Scale: 1:200 @ A1				
Date: 01.10.2010				
Drawing Status: PLANNING				

Job No: **5851(L14)** Drawing No: **3470 PL (20) 102** Rev: -

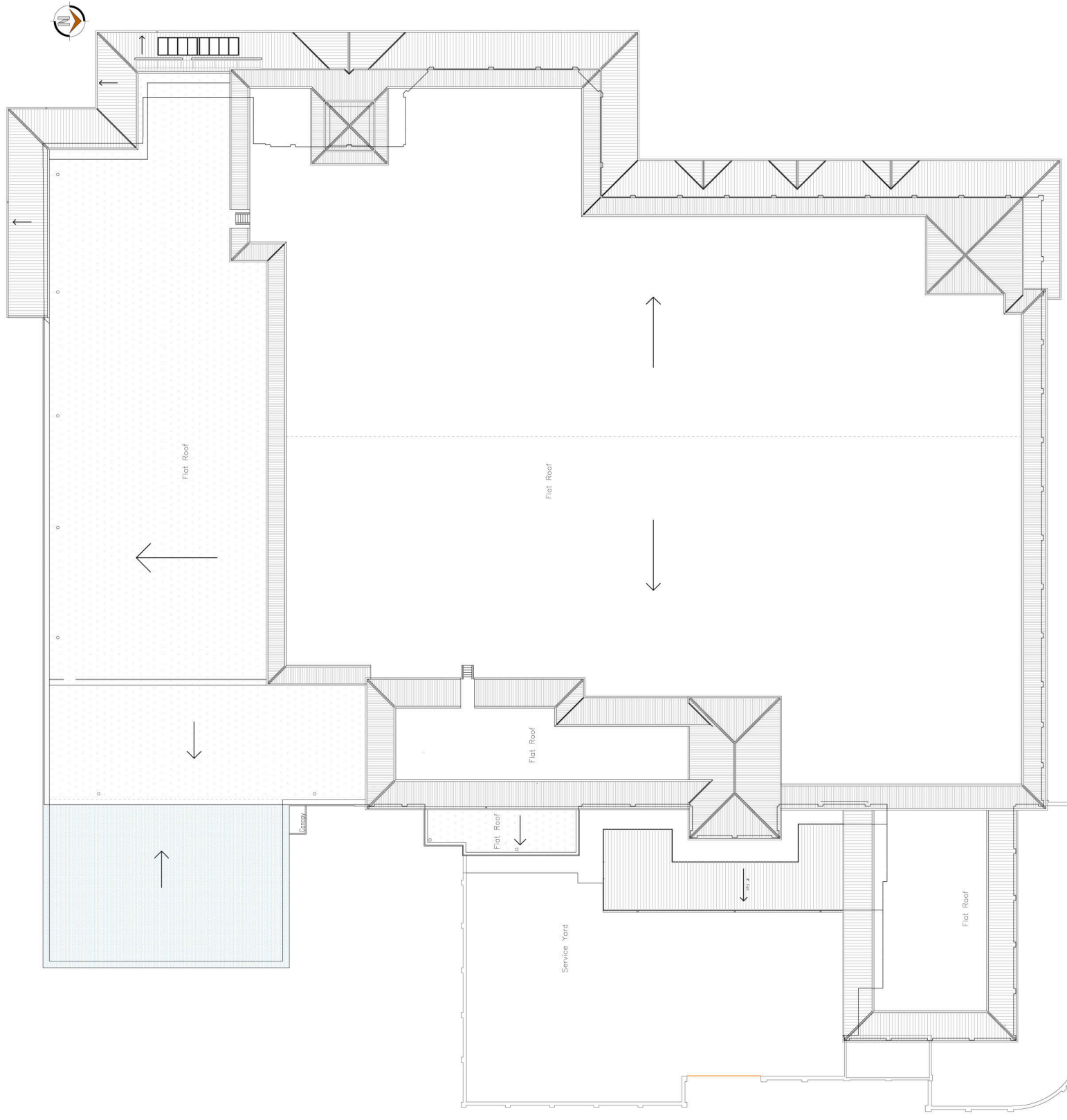
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No.	Date	Issued	By	Revisions

Client	TESCO	Project No.	3470
Client	Tesco Store Ltd	Project Name	Bulk Store Extension
Client	Reading	Project Address	2700 @ A1
Client	PLANNING	Project Stage	PLANNING

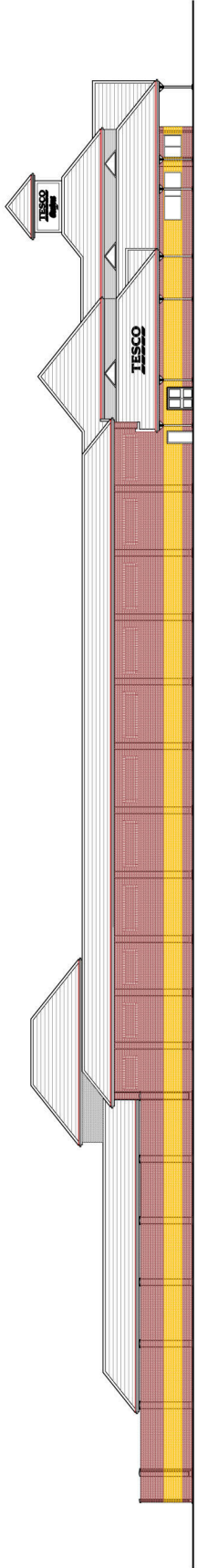
Drawing Title: **Proposed Roof Plan**

Job No: **3470 PL (20) 102**
 Drawing No: **3470 PL (20) 102**
 Rev: -

TESCO architects group

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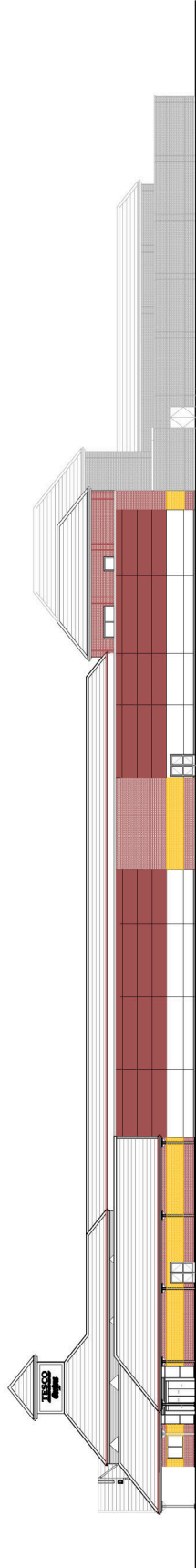
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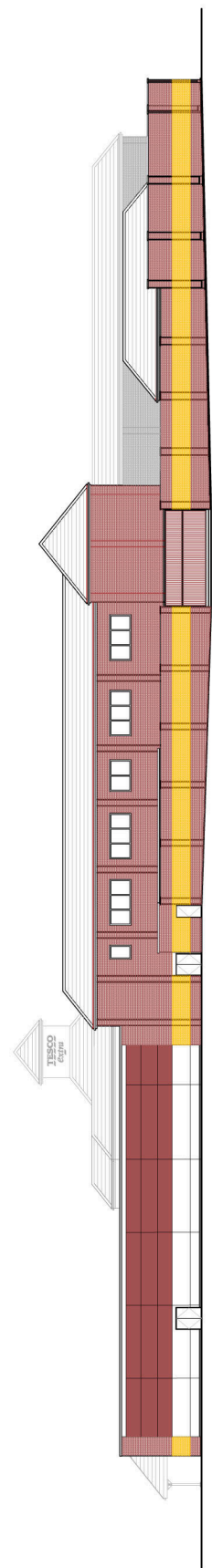
South Elevation



West Elevation



North Elevation (ATM omitted for clarity)



East Elevation

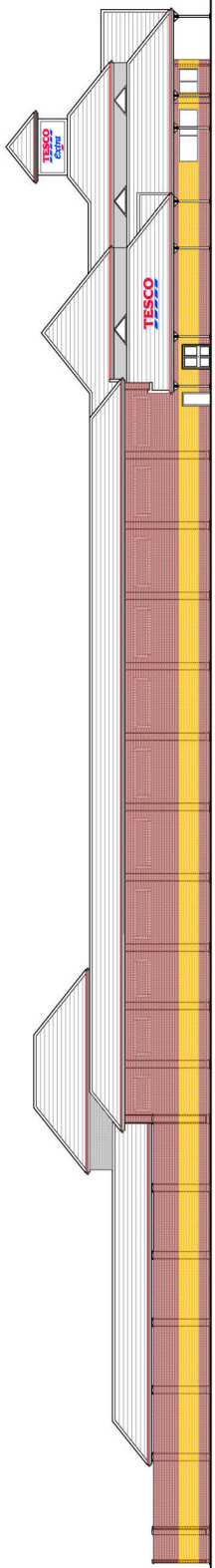
Client	TESCO	Project No.	3470
Architect	TESCO	Date	15/01/2010
Project	Tesco Store Ltd Bulk Stone Extension Yeading	Scale	1:200 @ A1
Project No.	3470	Drawing Status	PLANNING
Project Name	Existing Elevations		

Job No. 3470 PL (20) 104
Drawing No. 3470 PL (20) 104
Rev: -

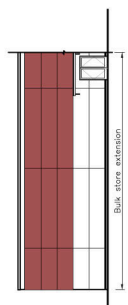
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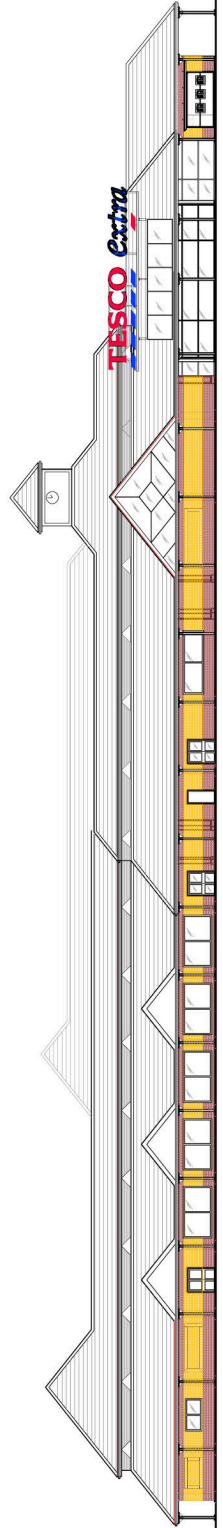
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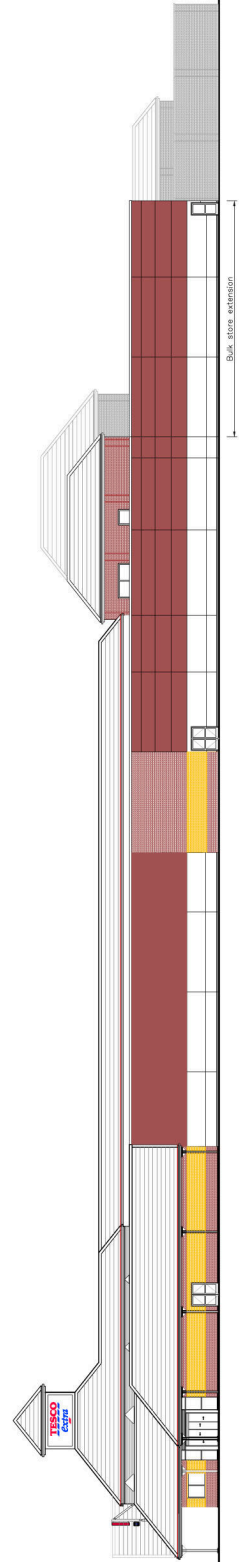
South Elevation



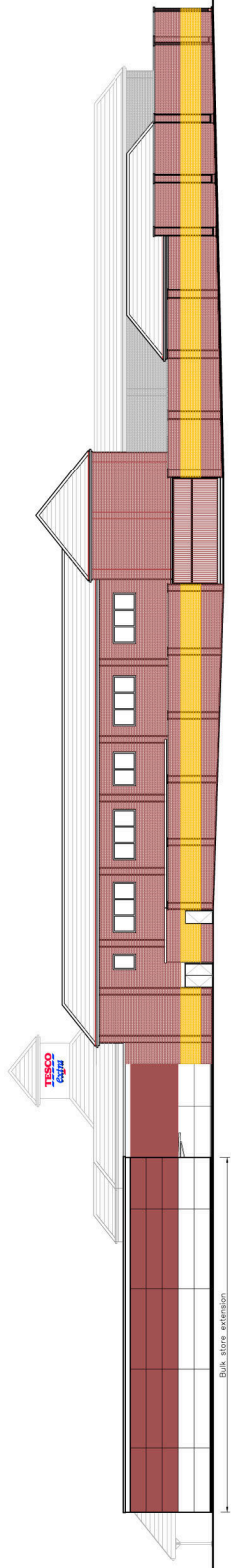
Partial South Elevation



West Elevation



North Elevation (ATM omitted for clarity)

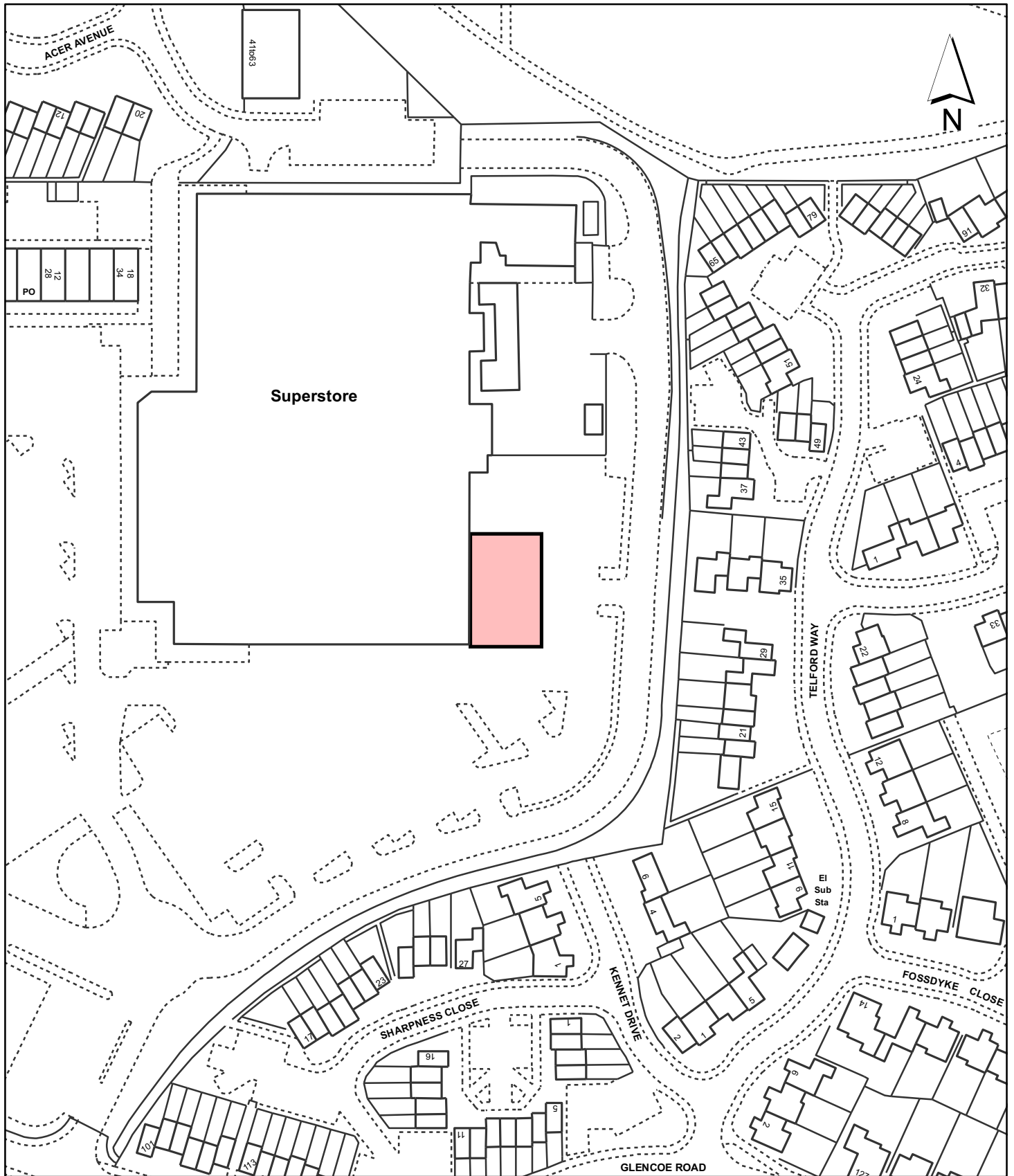


East Elevation


No.	Date	Issued	By	Revisions

TESCO
 Client: Tesco Stores Ltd
 Project: Bulk Store Extension
 Location: Yeading
 Drawing Name: PLANNING
 Drawing No: 3470 @ A1
 Scale: 1:500
 Date: 01.10.2010
 Drawn By: [Signature]
 Checked By: [Signature]

Job No: 5851(14) Drawing No: 3470 PL (20) 204
 Ref: -
TESCO architects group
h|n architects
 2129, Water Court, Newark, Notts, GLE 7DA 5J. Tel: 01930 214811 Fax: 01930 214808
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Notes

 Site boundary

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Site Address	
Tesco Stores Ltd. Glencoe Road Yeading	
Planning Application Ref:	Scale
36999/APP/2010/2512	1:1,250
Planning Committee	Date
Central and South	January 2011

LONDON BOROUGH OF HILLINGDON

Planning, Environment & Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



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